

IKON



HOLLY LEA VILLAGE BUILDING E

| | |
|-----------------|------------------|
| Issue | RESOURCE CONSENT |
| Date | Work in Progress |
| Revision | 01 - WIP |



DOCUMENT TRANSMITTAL

| Subset ID and Name | Layout ID | Layout Name | Current Revision ID | Issued Date |
|---------------------------------------|-----------|--|---------------------|-------------|
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| | RC02-4 | SITE PLAN - PROPOSED | 01 - WIP | - |
| RC03 CONCEPT FLOOR PLANS | | | | |
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| | RC06-12 | SHADING DIAGRAM - SEPTEMBER 22 2023 (12PM) | 01 - WIP | - |
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SITE INFORMATION

HOLLY LEA RETIREMENT VILLAGE
123 FENDALTON ROAD
FENDALTON, CHCH

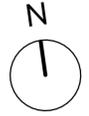
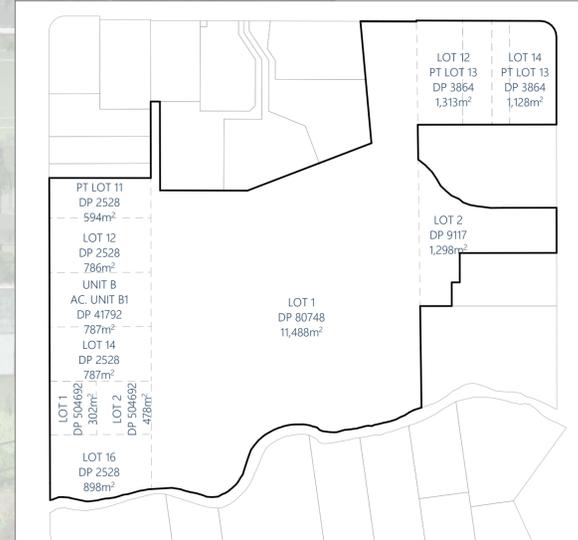
121 Fendalton Road
Parcel ID: 3304749
Appellation: PT Lot 12 DP 3864

2 Heathfield Avenue
Parcel ID: 3304605
Appellation: PT Lot 14 DP 3864

Climate Zone: 3
Earthquake Zone: Zone 2
Exposure Zone: Zone C
Lee Zone: No
Rainfall Range: 40 - 50
Wind Region: A

SITE METRICS

SITE AREA
Lot 1 DP 30748 (11,488m²)
Lot 2 DP 9117 (1,298m²)
Lot 1 DP 504692 (302m²)
Lot 2 DP 504692 (478m²)
PT Lot 11, Lot 12, Lot 14, & Lot 16 DP 2528 (3,065m²)
Unit B and Ac. Unit B1 Deposited Plan 41792 (787m²)
Lot 12 and Part Lot 13 DP 3864 (1,313m²)
Lot 14 and Part Lot 13 DP 3864 (1,128m²)
Total Site Area: 19,859m²



SITE INFORMATION

HOLLY LEA RETIREMENT VILLAGE
 123 FENDALTON ROAD
 FENDALTON, CHCH

121 Fendalton Road
 Parcel ID: 3304749
 Appellation: Pt Lot 12 DP 3864

2 Heathfield Avenue
 Parcel ID: 3304605
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 Unit B and Ac. Unit B1 Deposited Plan 41792 (787m²)
 Lot 12 and Part Lot 13 DP 3864 (1313m²)
 Lot 14 and Part Lot 13 DP 3864 (1128m²)
Total Site Area: 19,859m²

SITE COVERAGE
 Existing Building Coverage: 6,948m²
 Existing Site Coverage: 34.9%

SITE LEGEND

EXISTING FENCING



SITE INFORMATION

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 FENDALTON, CHCH
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Total Site Area: 19,859m²

SITE COVERAGE
 Existing Building Coverage: 6.948m²
 Existing Site Coverage: 34.9%

Proposed Building D: 808.05m²
 Proposed Building E: 1,213.26m²
Total Proposed Building Coverage Area: 2,021.31m²
Total Site Building Coverage Area: 8,969.31m²
Proposed Site Coverage: 45.2%

APARTMENT METRICS

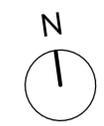
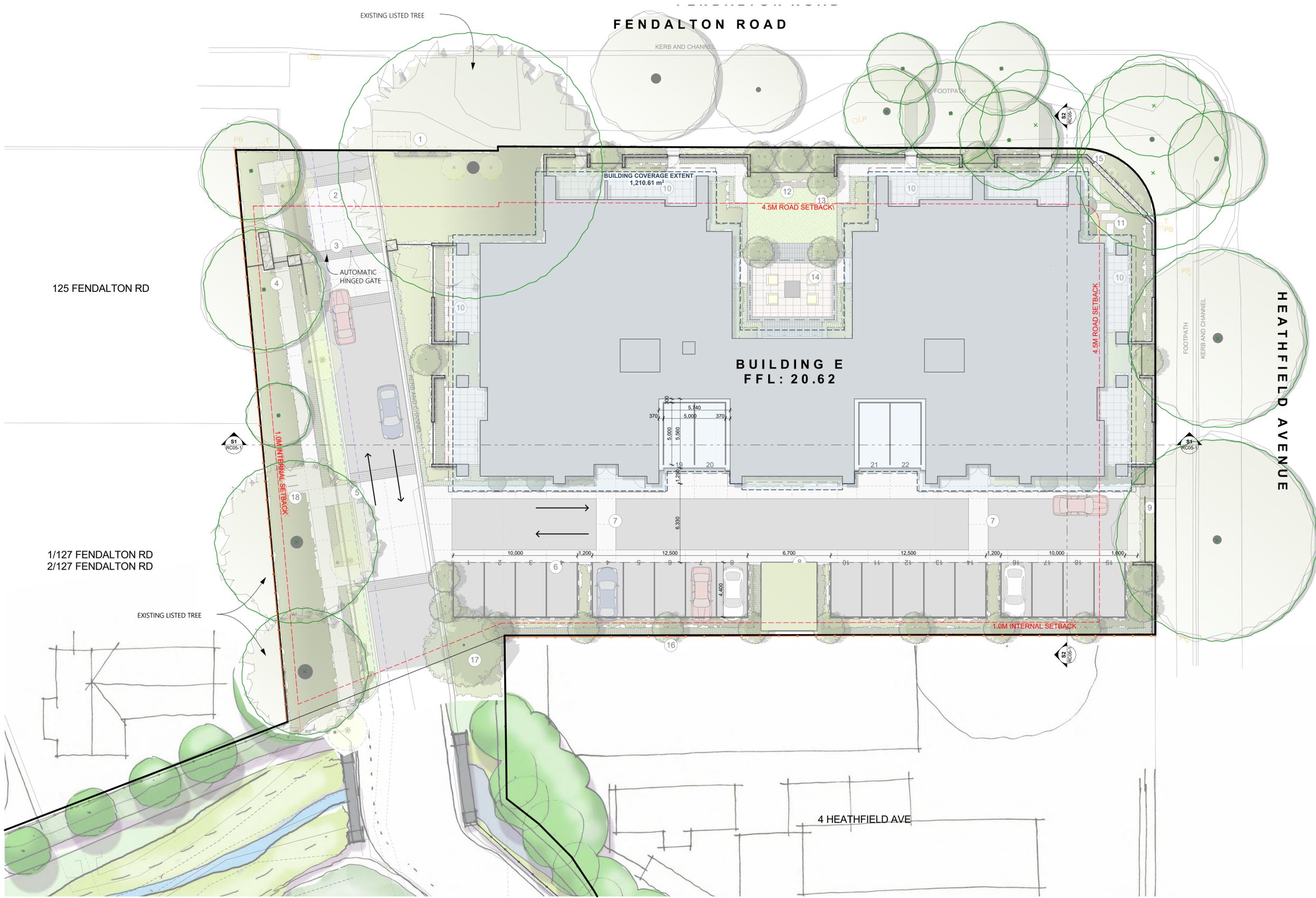
APARTMENTS
 2 BED: 22
 TOTAL: 22

GROSS FLOOR AREA
 E - LEVEL 1: 975.81m²
 E - LEVEL 2: 940.35m²
 E - LEVEL 3: 879.67m²
TOTAL: 2,795.83m²

EXCLUDES BALCONIES
 INCLUDES LEVEL 1 & 2 PEDESTAL COLUMNS
 LEFT ONLY IN LEVEL 1 AREA CALCULATION

SITE LEGEND

— EXISTING FENCING



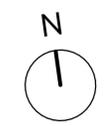
FENDALTON ROAD



APARTMENT METRICS

| APARTMENTS | |
|------------------|------------------------|
| 2 BED | 22 |
| TOTAL | 22 |
| GROSS FLOOR AREA | |
| E-LEVEL 1 | 975.81m ² |
| E-LEVEL 2 | 940.35m ² |
| E-LEVEL 3 | 879.67m ² |
| TOTAL | 2,795.83m ² |

EXCLUDES BALCONIES
INCLUDES LEVEL 1&2 PLASTERS/COLUMNS.
LIFT ONLY IN LEVEL 1 AREA CALCULATION



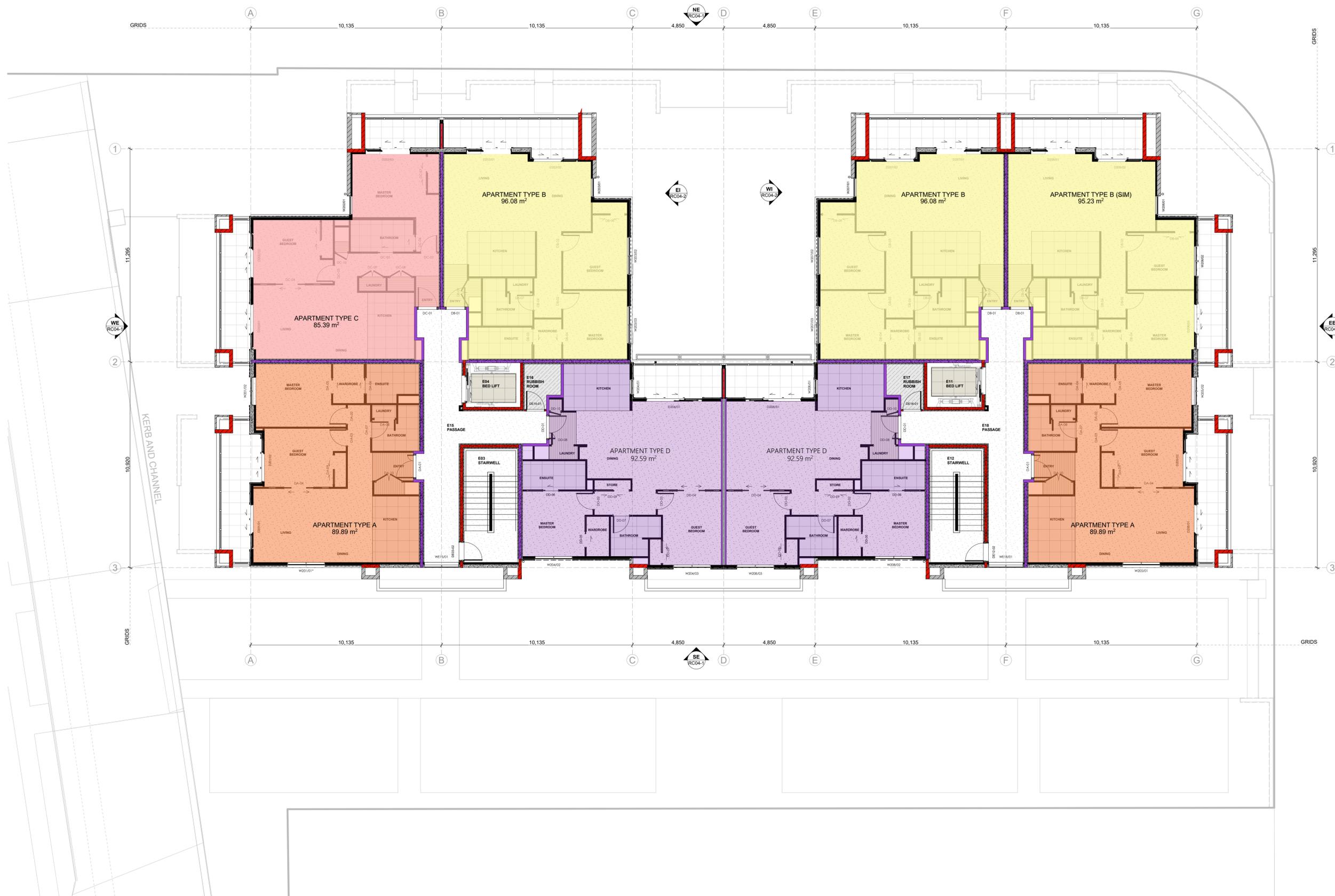


APARTMENT METRICS

| APARTMENTS | |
|------------|----|
| 2 BED | 22 |
| TOTAL | 22 |

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|------------------|------------------------|
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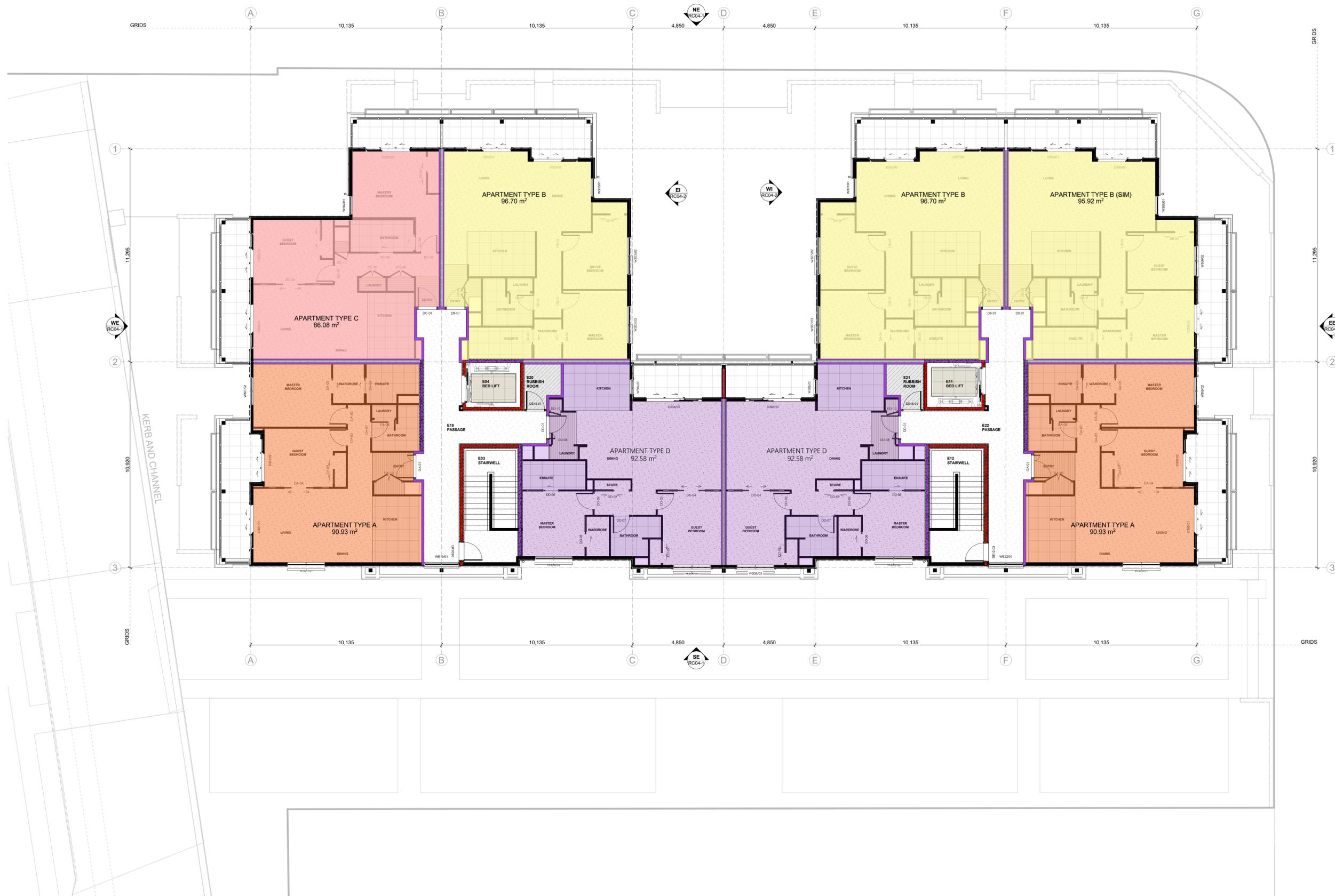


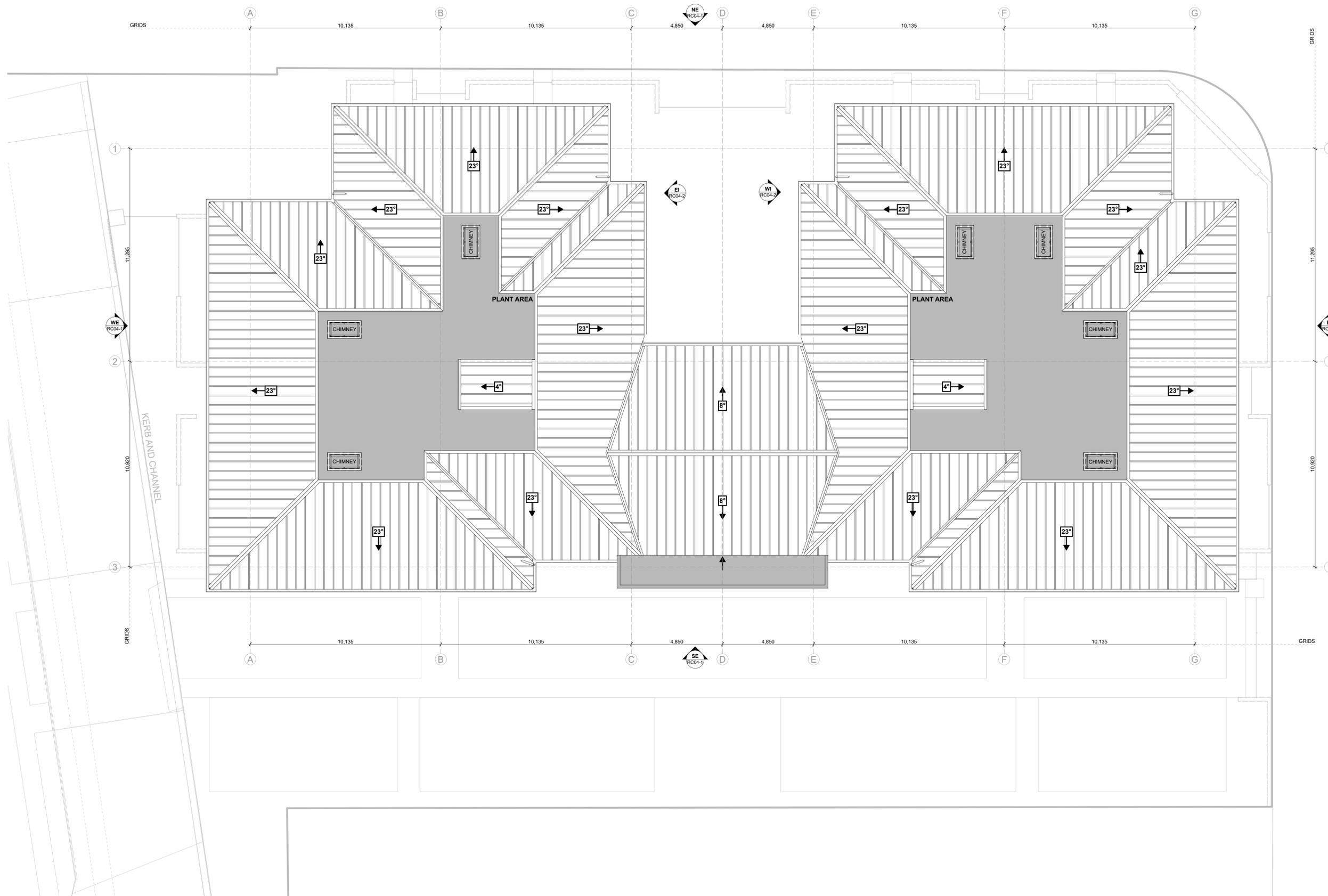
APARTMENT METRICS

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|------------|----|
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| GROSS FLOOR AREA | |
|------------------|------------------------|
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EXCLUDES BALCONIES
INCLUDES LEVEL 1&2 PLASTERS/COLUMNS,
LIFT ONLY IN LEVEL 1 AREA CALCULATION







NE
SCALE: 1:100
NORTH ELEVATION



WE
SCALE: 1:100
WEST ELEVATION



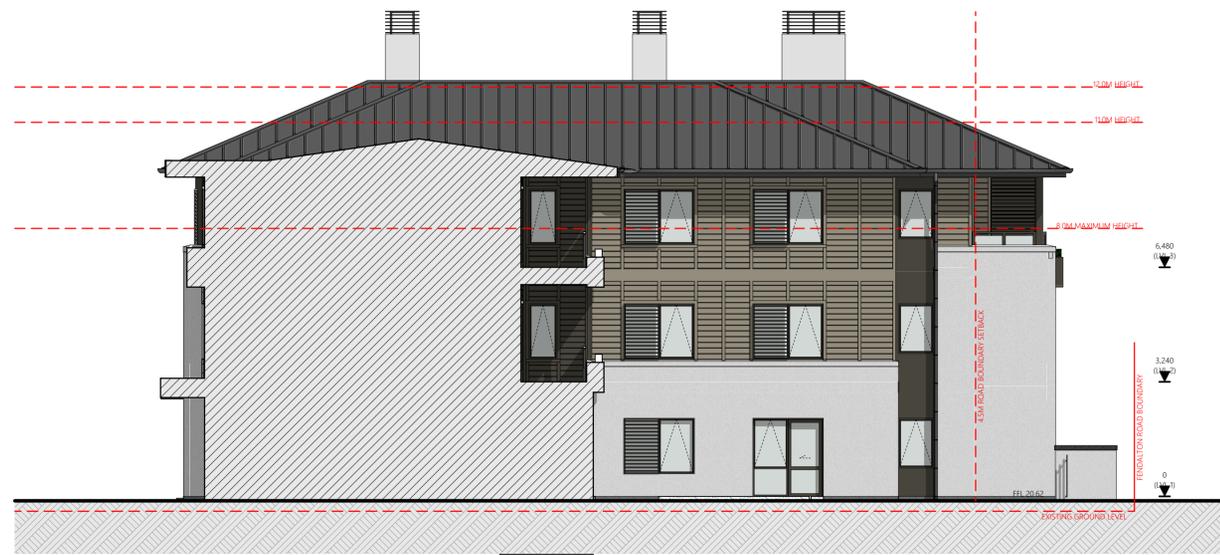
EE
SCALE: 1:100
EAST ELEVATION



SE
SCALE: 1:100
SOUTH ELEVATION

EXTERIOR CLADDINGS

-  FIBRE CEMENT WEATHERBOARDS WITH PAINT FINISH AS SPECIFIED.
-  RESENE BAGGED RENDER WITH PAINT FINISH AS SPECIFIED.
-  FIBRE CEMENT WEATHERBOARDS WITH PAINT FINISH AS SPECIFIED.
-  FIBRE CEMENT PANEL WITH PAINT FINISH AS SPECIFIED.
-  SOLID TIMBER COLUMN WITH PAINT FINISH AS SPECIFIED.
-  EXTERNAL LOUVERS
-  PROFILED METAL ROOFING WITH COLORSTEEL ENDURA FINISH AS SPECIFIED.



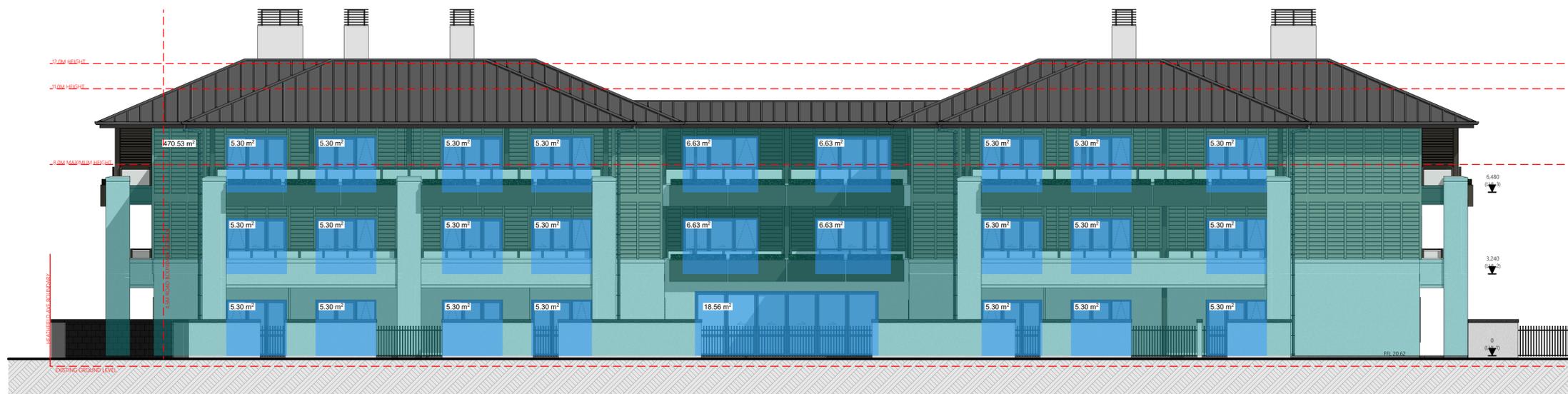
EI
SCALE: 1:100
EAST INTERNAL ELEVATION



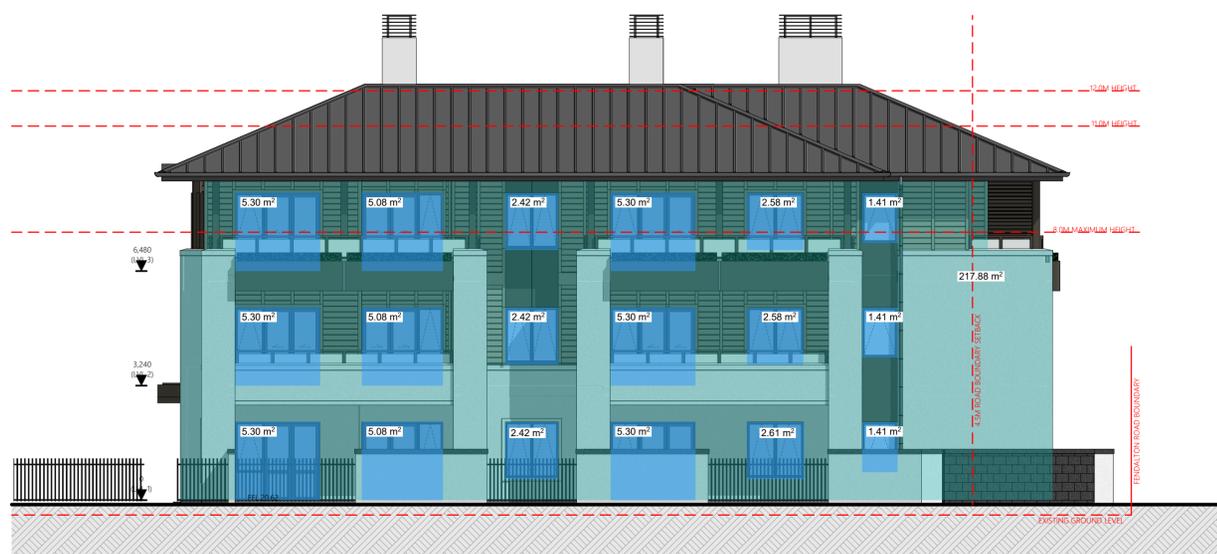
WI
SCALE: 1:100
WEST INTERNAL ELEVATION

EXTERIOR CLADDINGS

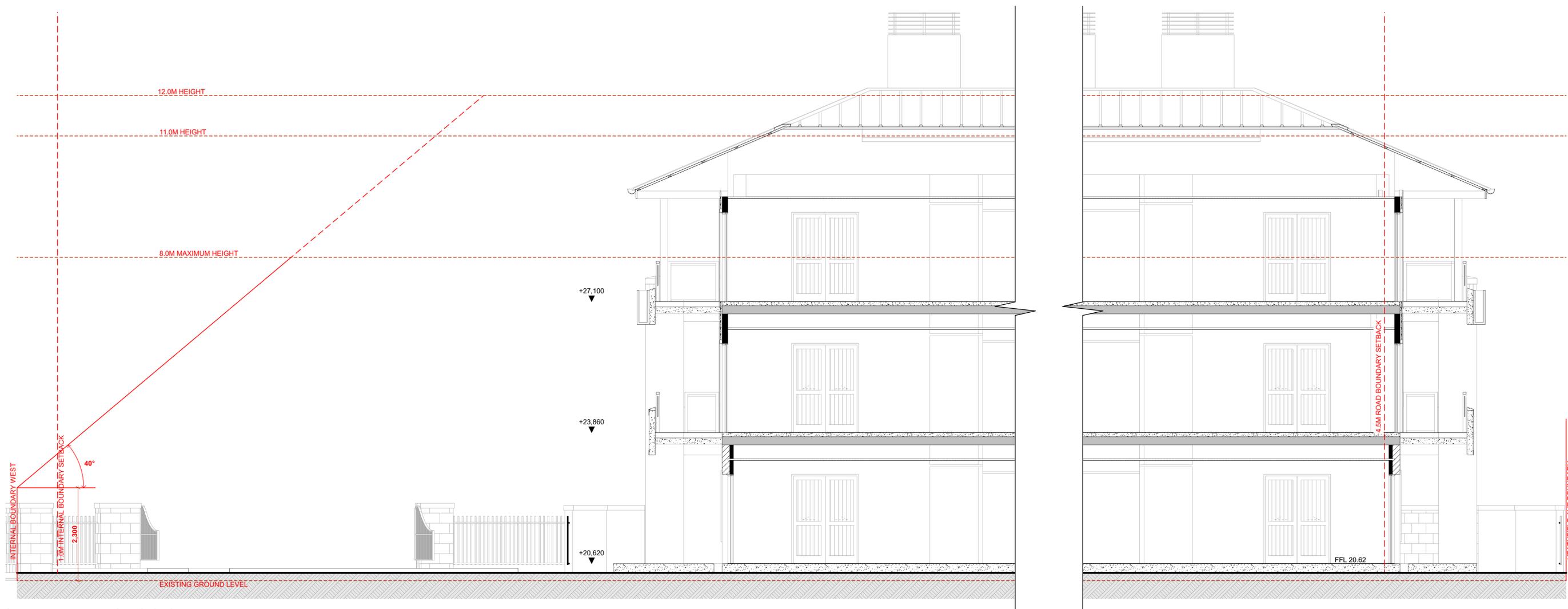
-  FIBRE CEMENT WEATHERBOARDS WITH PAINT FINISH AS SPECIFIED.
-  RESENE BAGGED RENDER WITH PAINT FINISH AS SPECIFIED.
-  FIBRE CEMENT WEATHERBOARDS WITH PAINT FINISH AS SPECIFIED.
-  FIBRE CEMENT PANEL WITH PAINT FINISH AS SPECIFIED.
-  SOLID TIMBER COLUMN WITH PAINT FINISH AS SPECIFIED.
-  EXTERNAL LOUVRES
-  PROFILED METAL ROOFING WITH COLORSTEEL ENDURA FINISH AS SPECIFIED.

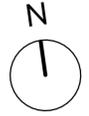


NE
SCALE: 1:100
FENDALTON ROAD GLAZING AREA
FACADE GLAZING: 33%



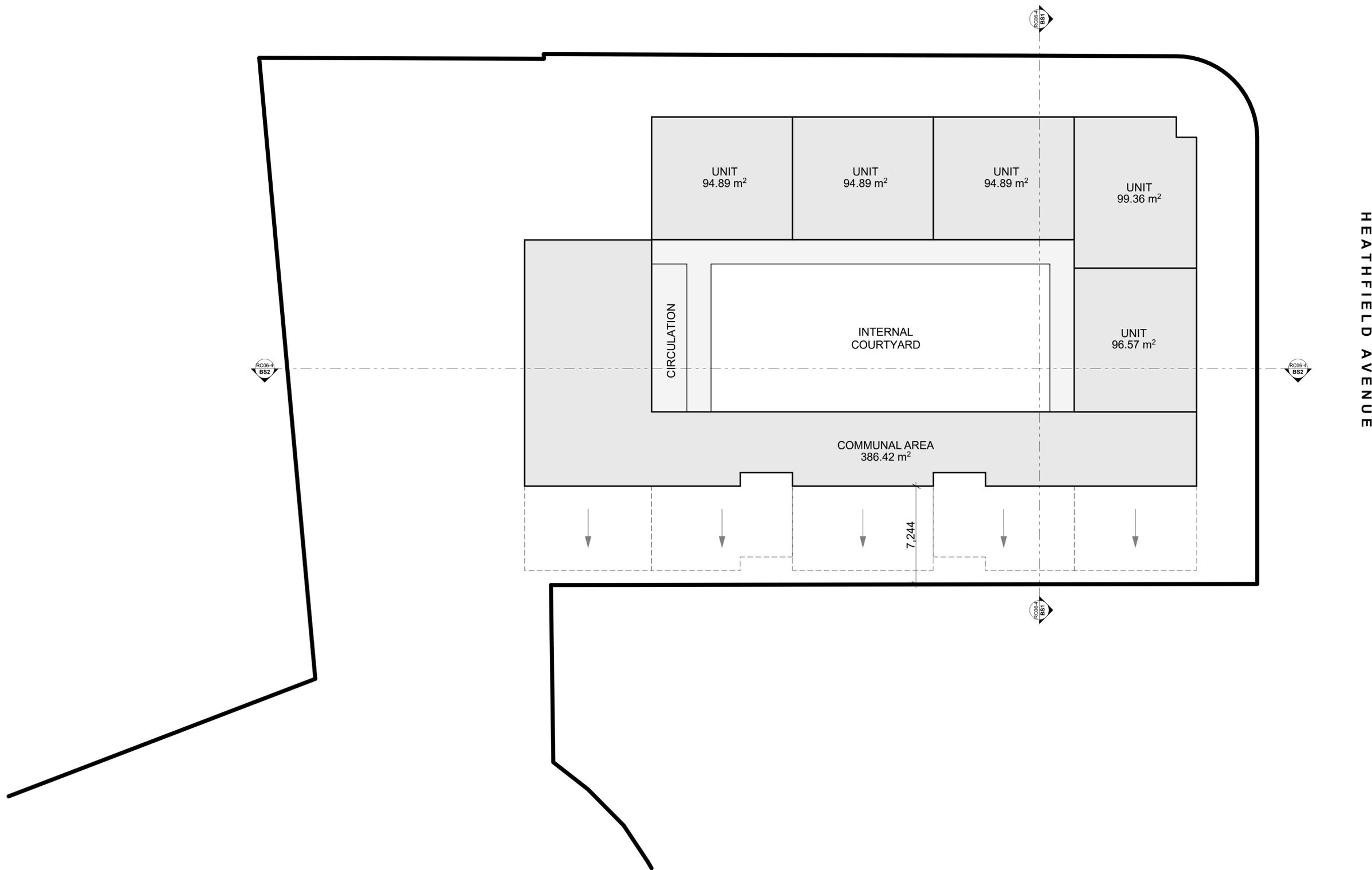
EE
SCALE: 1:100
HEATHFIELD AVE GLAZING AREA
FACADE GLAZING: 30%







FENDALTON ROAD



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**HOLLY LEA VILLAGE
BUILDING E**
123 Fendalton Road

BASELINE RETIREMENT BUILDING - LEVEL 2



01 - WIP Work in Progress RESOURCE CONSENT

Job # 2208

Scale @ A1 1:150, 1:100

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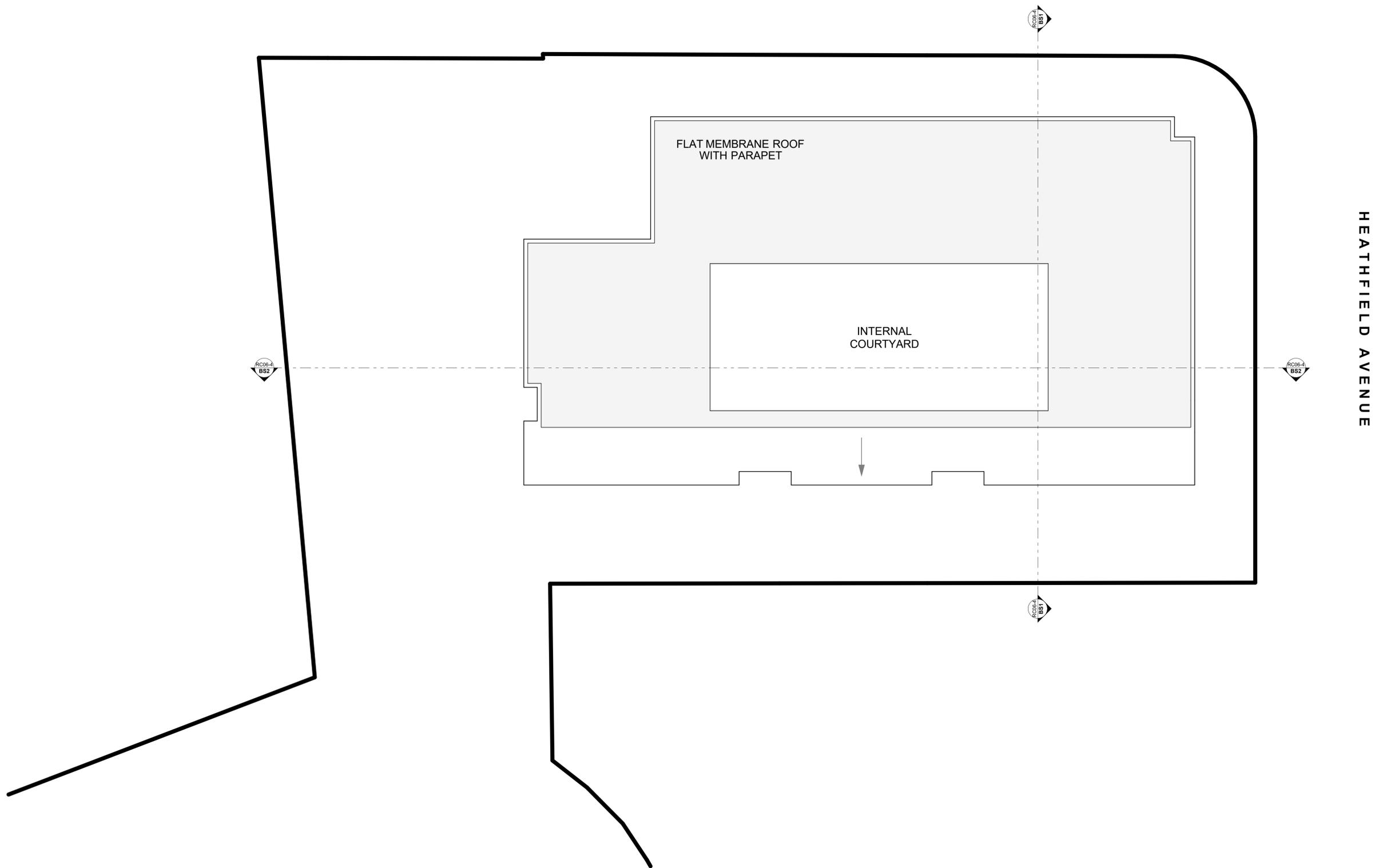
Revision

RC06-2

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**HOLLY LEA VILLAGE
BUILDING E**
123 Fendalton Road

BASELINE RETIREMENT BUILDING - ROOF



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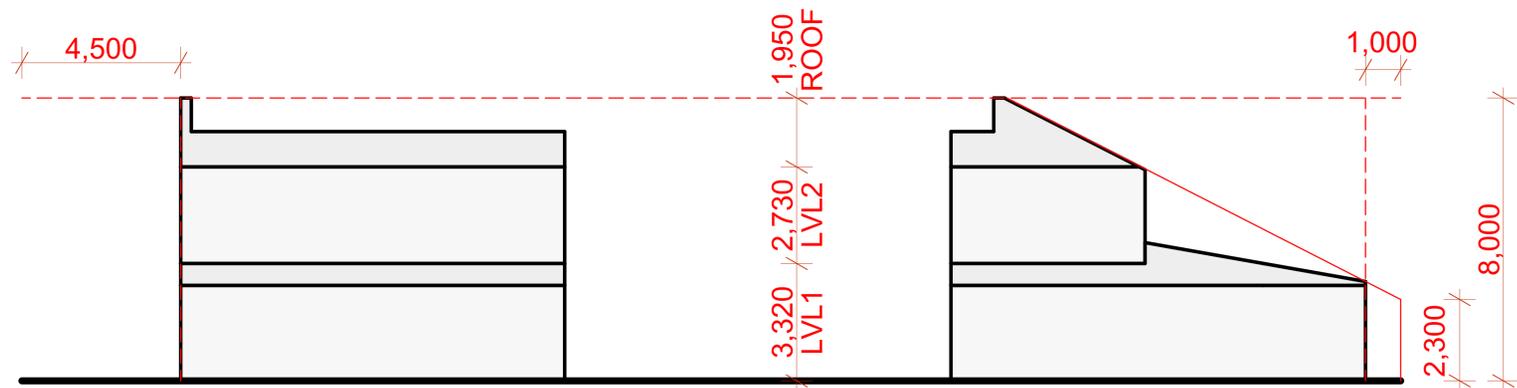
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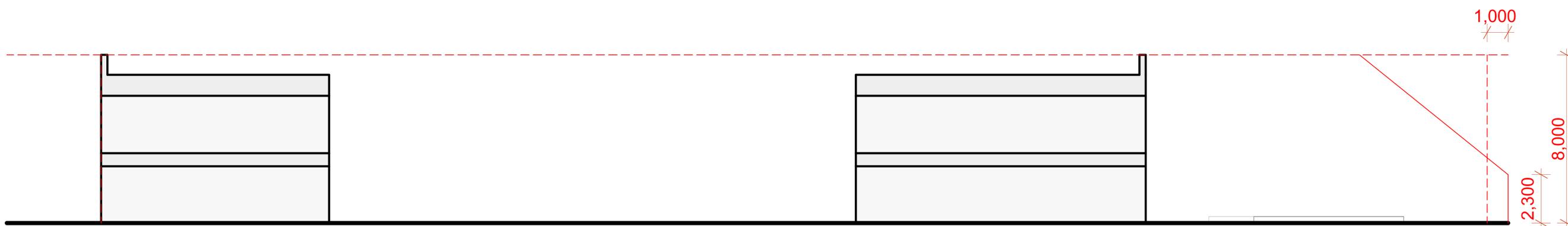
Revision

RC06-3

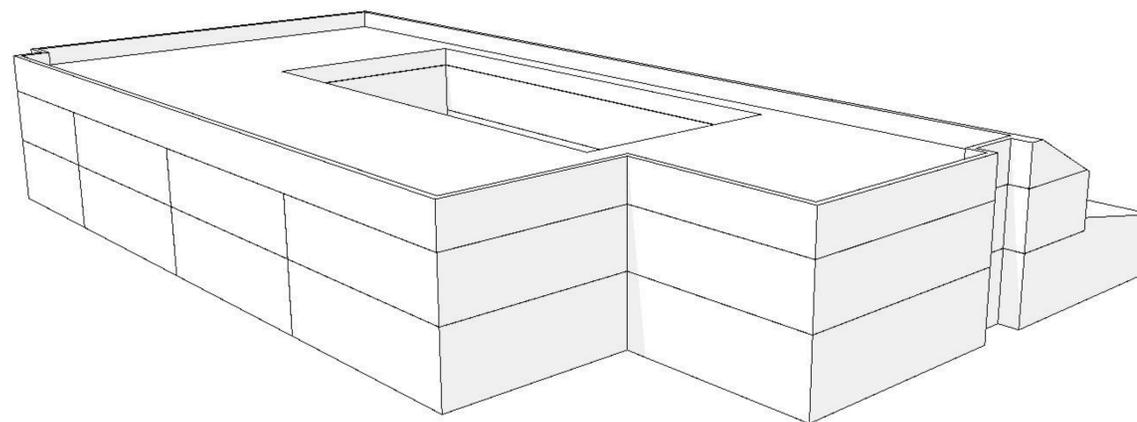
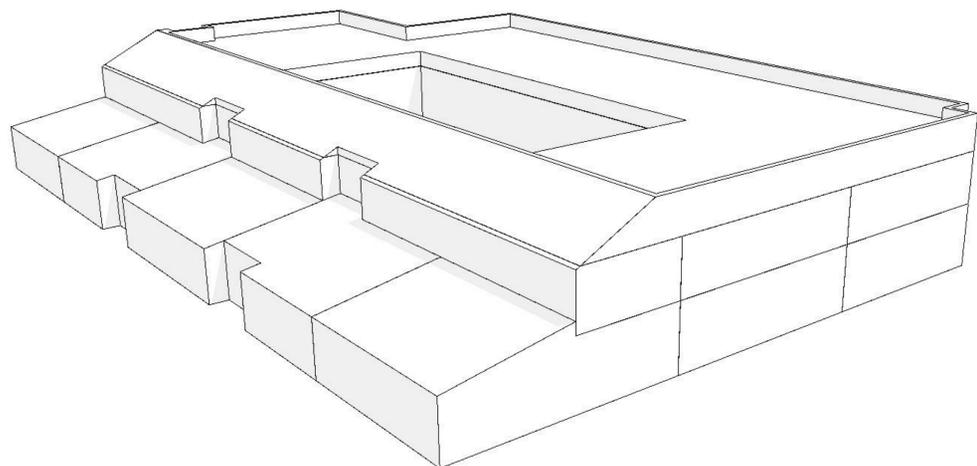
01 - WIP



BS1 BASELINE SECTION 1
SCALE: 1:100



BS2 BASELINE SECTION 2
SCALE: 1:100

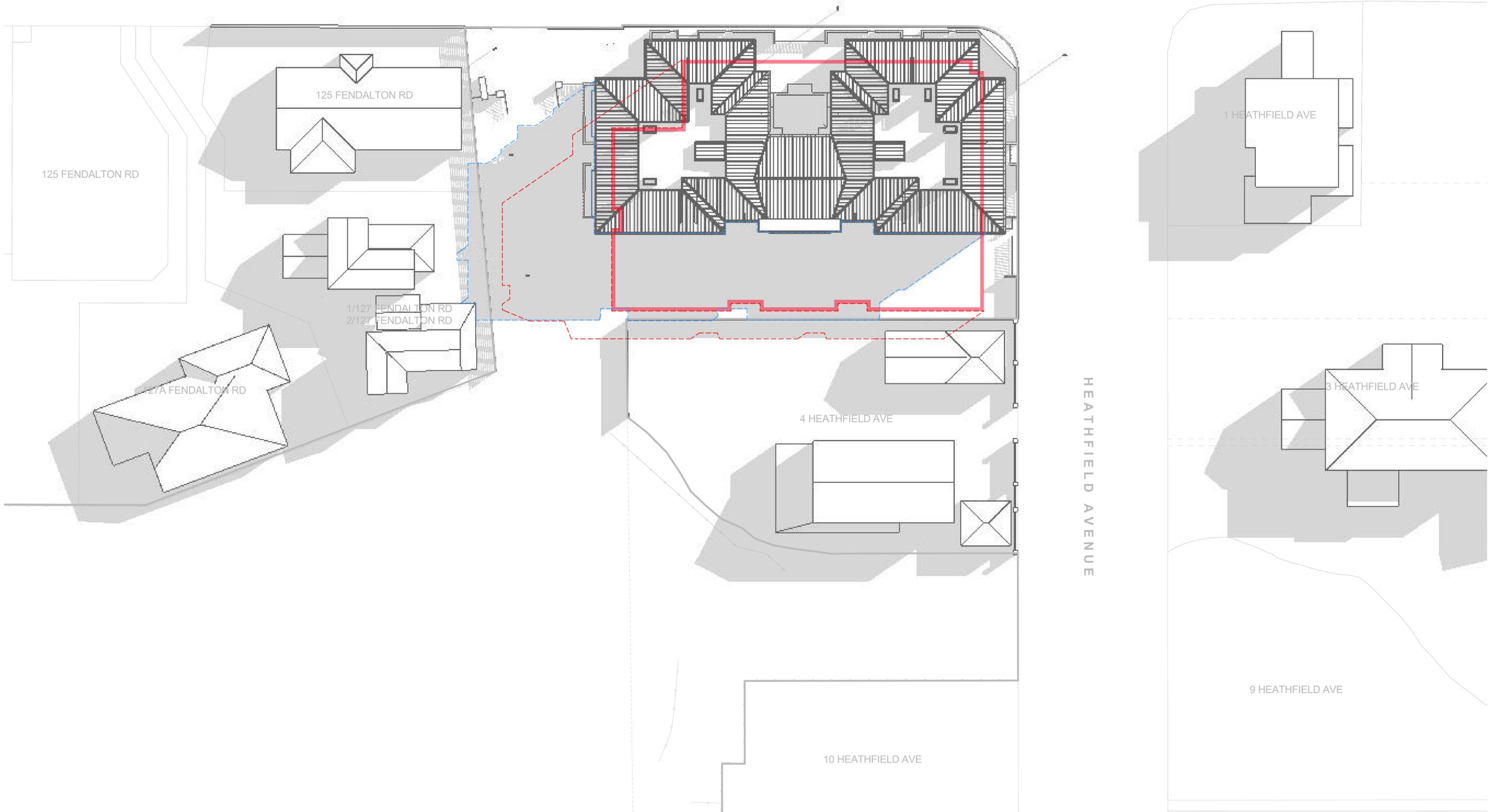




LEGEND

- BASELINE FORM OUTLINE
8M HIGH FORM WITHIN BOUNDARY
SETBACK, RECESION PLANE, AND SITE
COVERAGE LIMITATIONS.
- - - OUTLINE OF BASELINE FORM SHADOW
- - - OUTLINE OF PROPOSED BUILDING E
SHADOW

FENDALTON ROAD



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**HOLLY LEA VILLAGE
BUILDING E**
123 Fendalton Road

SHADING DIAGRAM - MARCH 22 2023 (9AM)



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Scale @ A1

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Revision

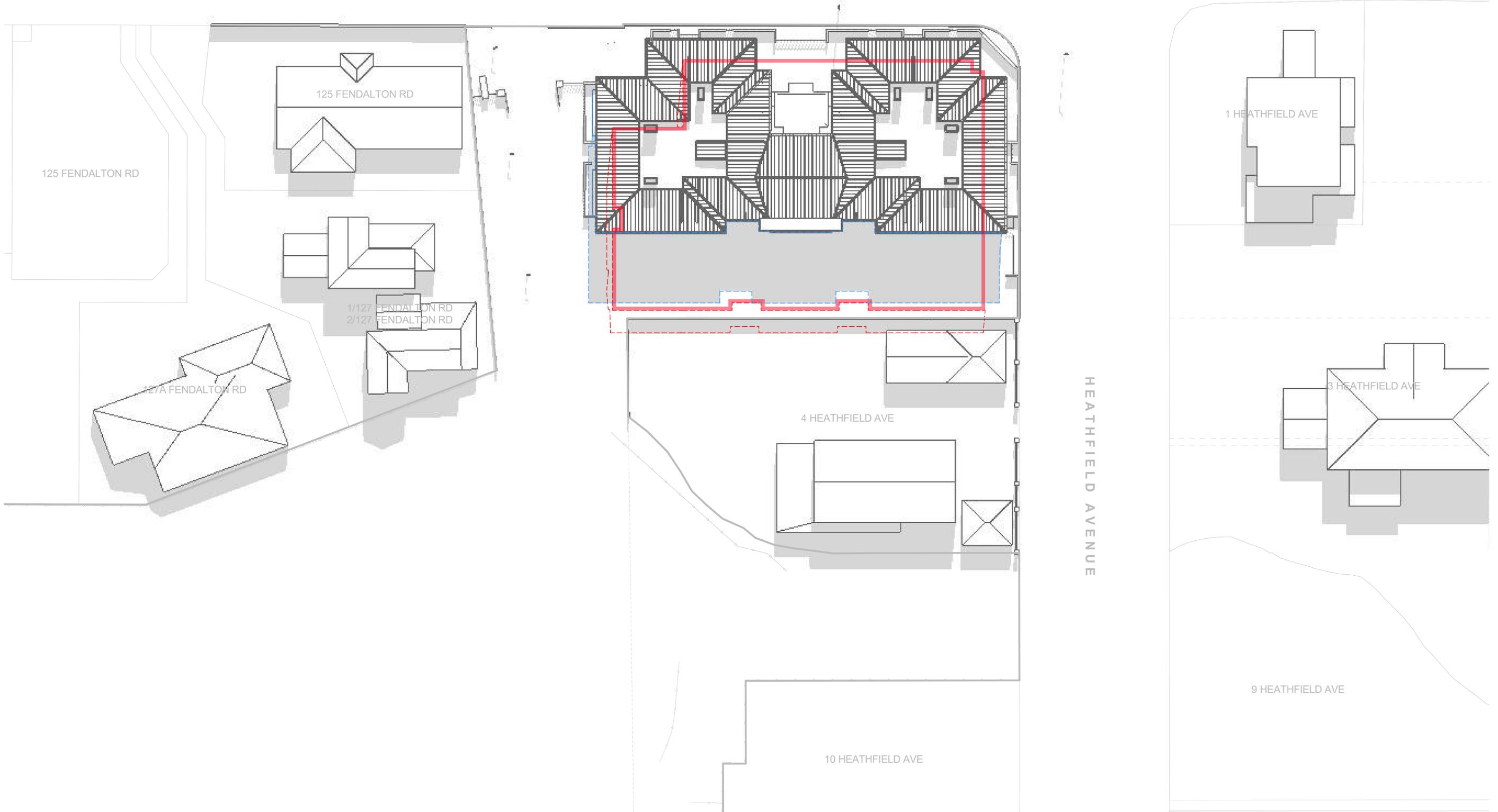
RC06-5

01 - WIP

FENDALTON ROAD

LEGEND

- BASELINE FORM OUTLINE
8M HIGH FORM WITHIN BOUNDARY
SETBACK, RECESSION PLANE, AND SITE
COVERAGE LIMITATIONS.
- - - OUTLINE OF BASELINE FORM SHADOW
- - - OUTLINE OF PROPOSED BUILDING E
SHADOW



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**HOLLY LEA VILLAGE
BUILDING E**
123 Fendalton Road

SHADING DIAGRAM - MARCH 22 2023 (12PM)



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Job # 2208

Scale @ A1

Sheet #

Revision

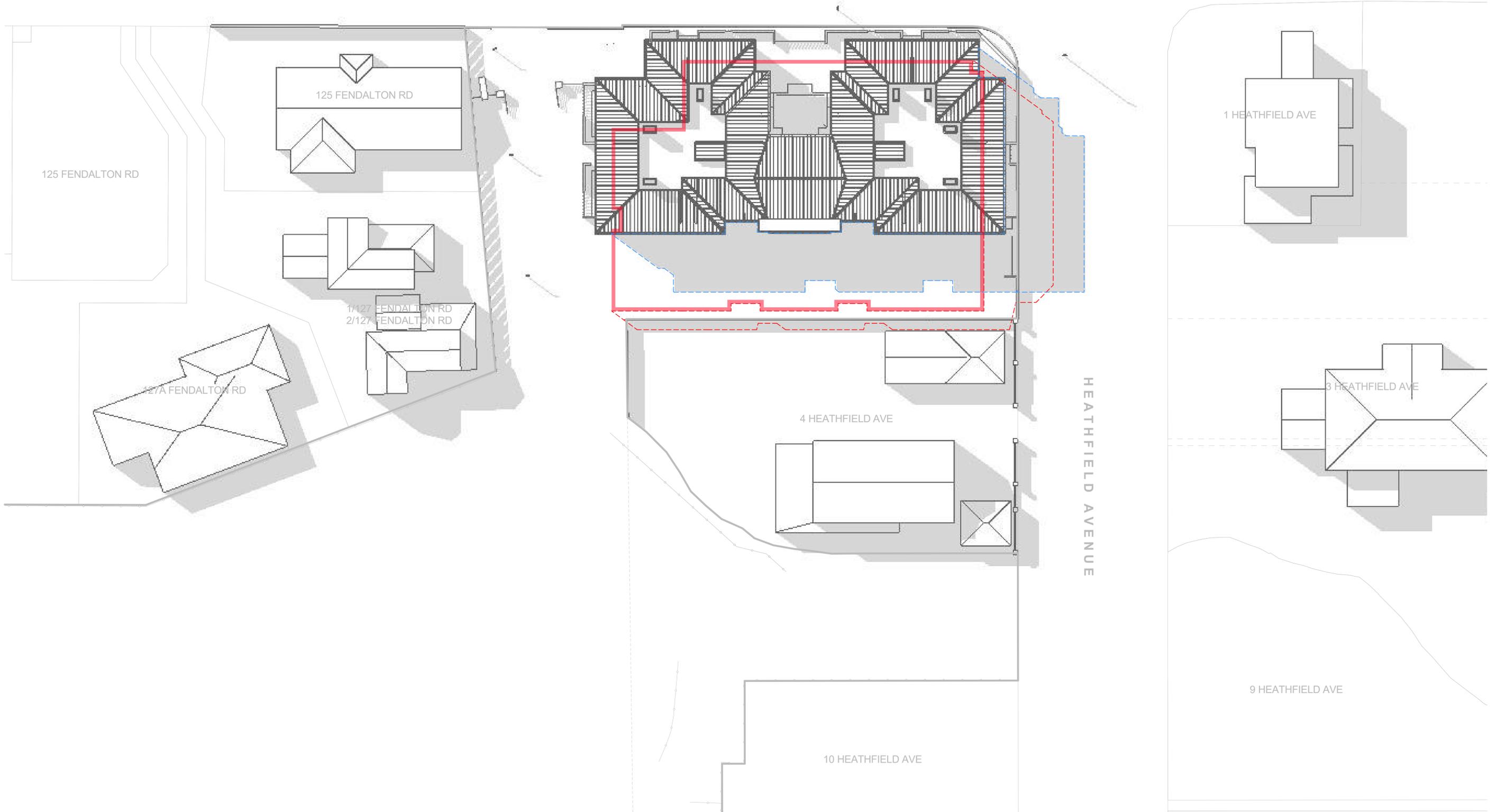
RC06-6

01 - WIP

FENDALTON ROAD

LEGEND

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**HOLLY LEA VILLAGE
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123 Fendalton Road

SHADING DIAGRAM - MARCH 22 2023 (3PM)



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Job # 2208

Scale @ A1

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RC06-7

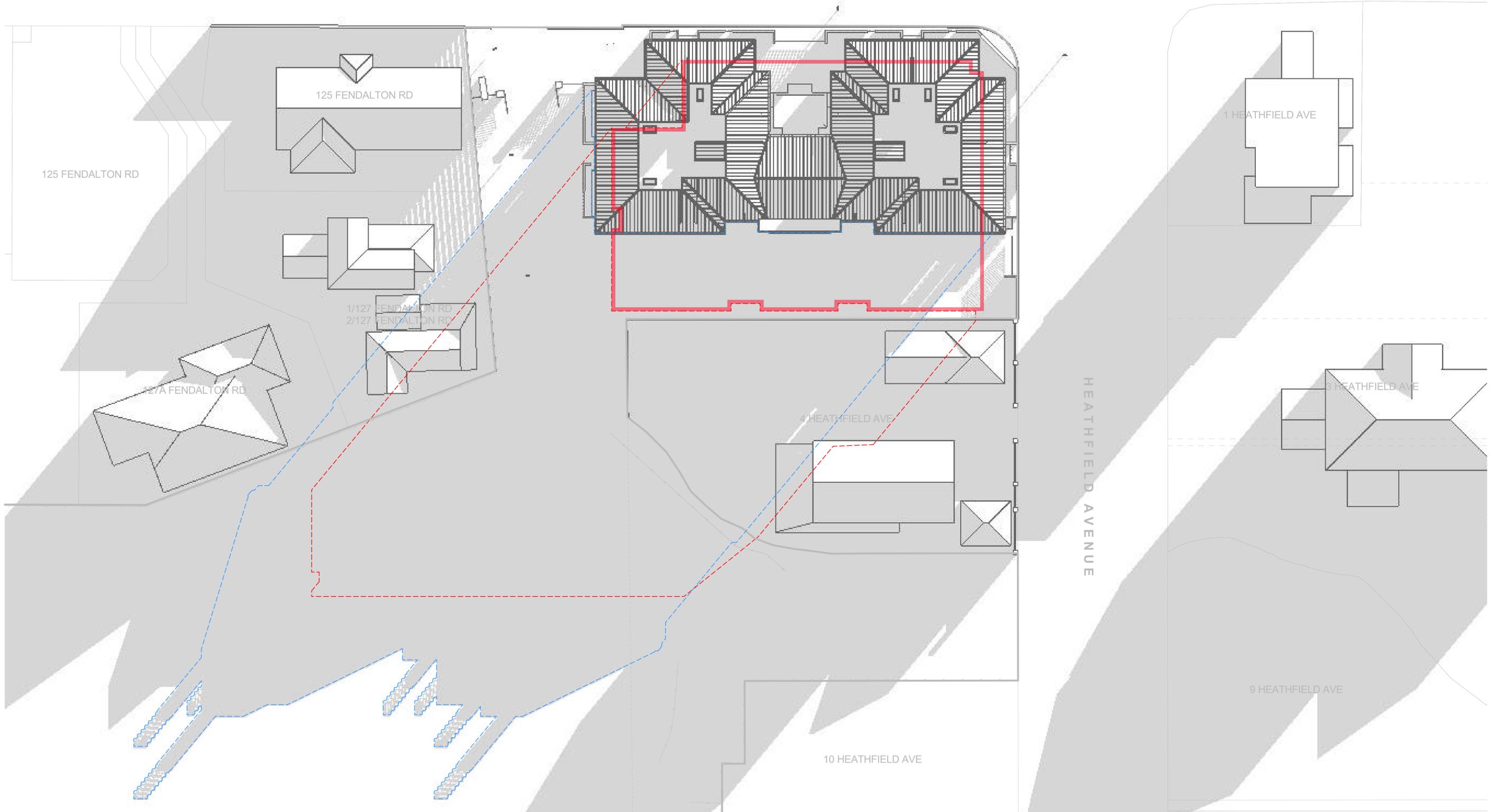
01 - WIP



LEGEND

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FENDALTON ROAD



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123 Fendalton Road

SHADING DIAGRAM - JUNE 22 2023 (9AM)



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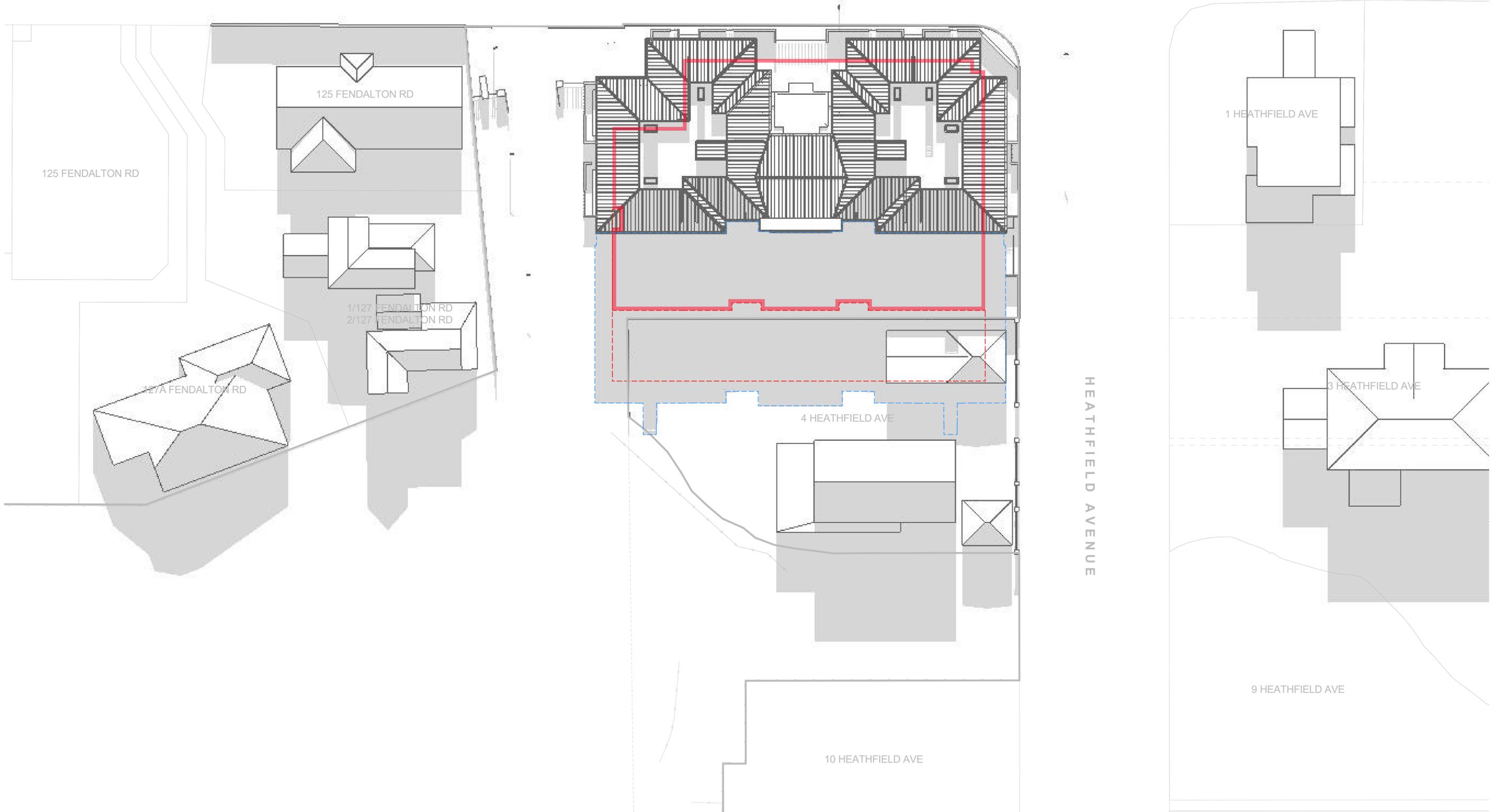
RC06-8

01 - WIP

FENDALTON ROAD

LEGEND

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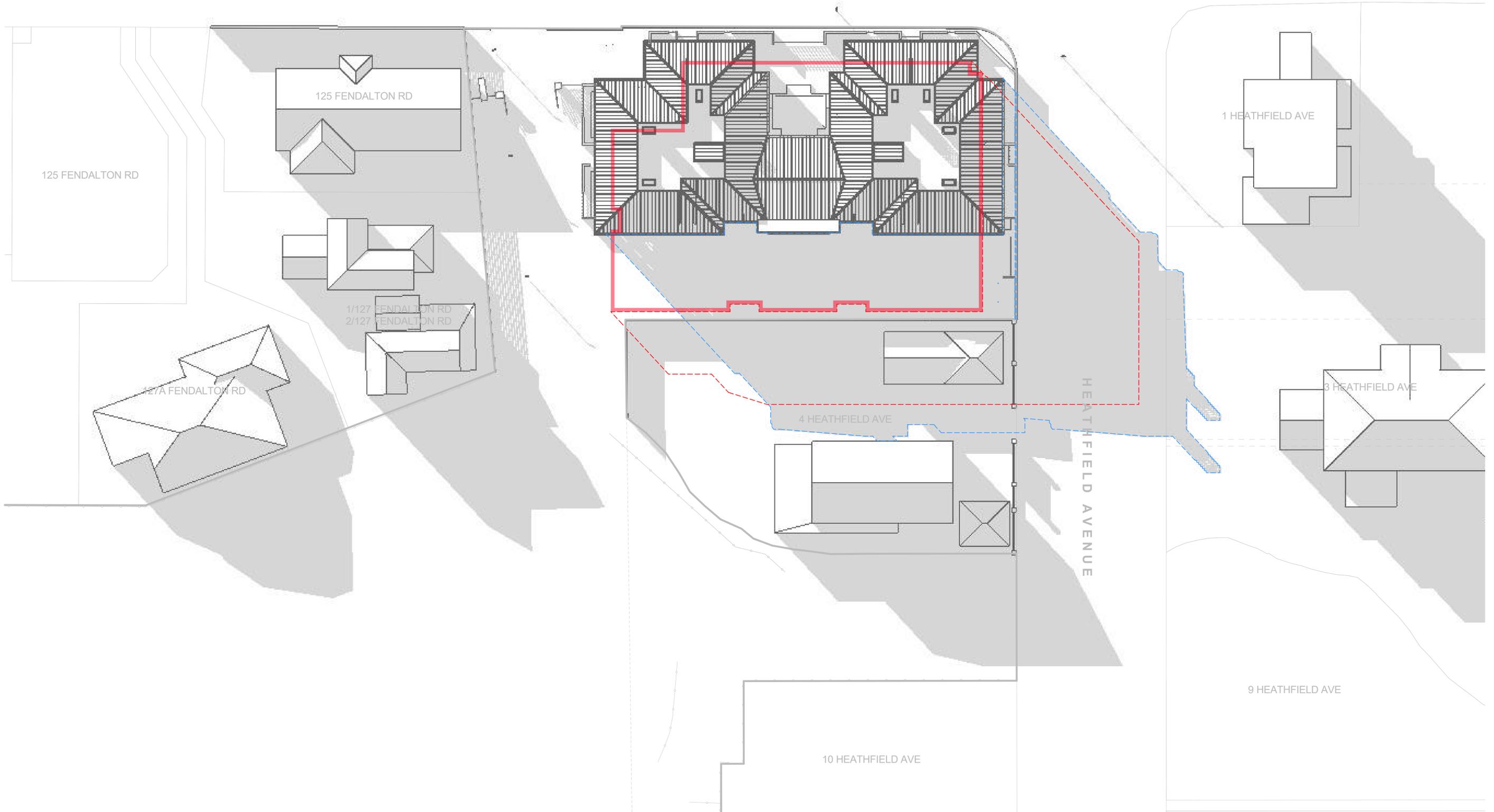
RC06-9

01 - WIP

FENDALTON ROAD

LEGEND

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SHADING DIAGRAM - JUNE 22 2023 (3PM)



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Revision

RC06-10

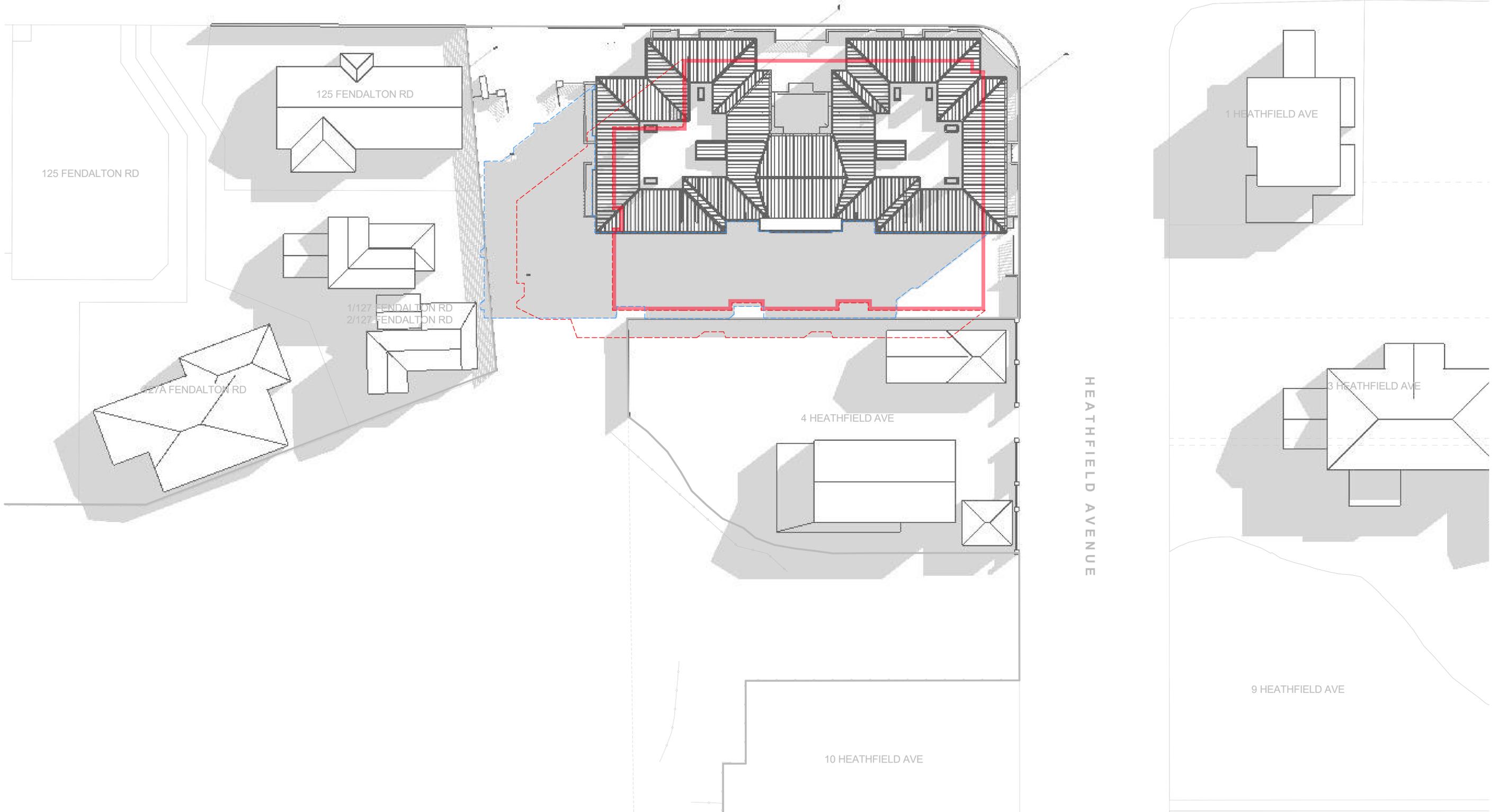
01 - WIP



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FENDALTON ROAD



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SHADING DIAGRAM - SEPTEMBER 22 2023 (9AM)



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Job # 2208

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Revision

RC06-11

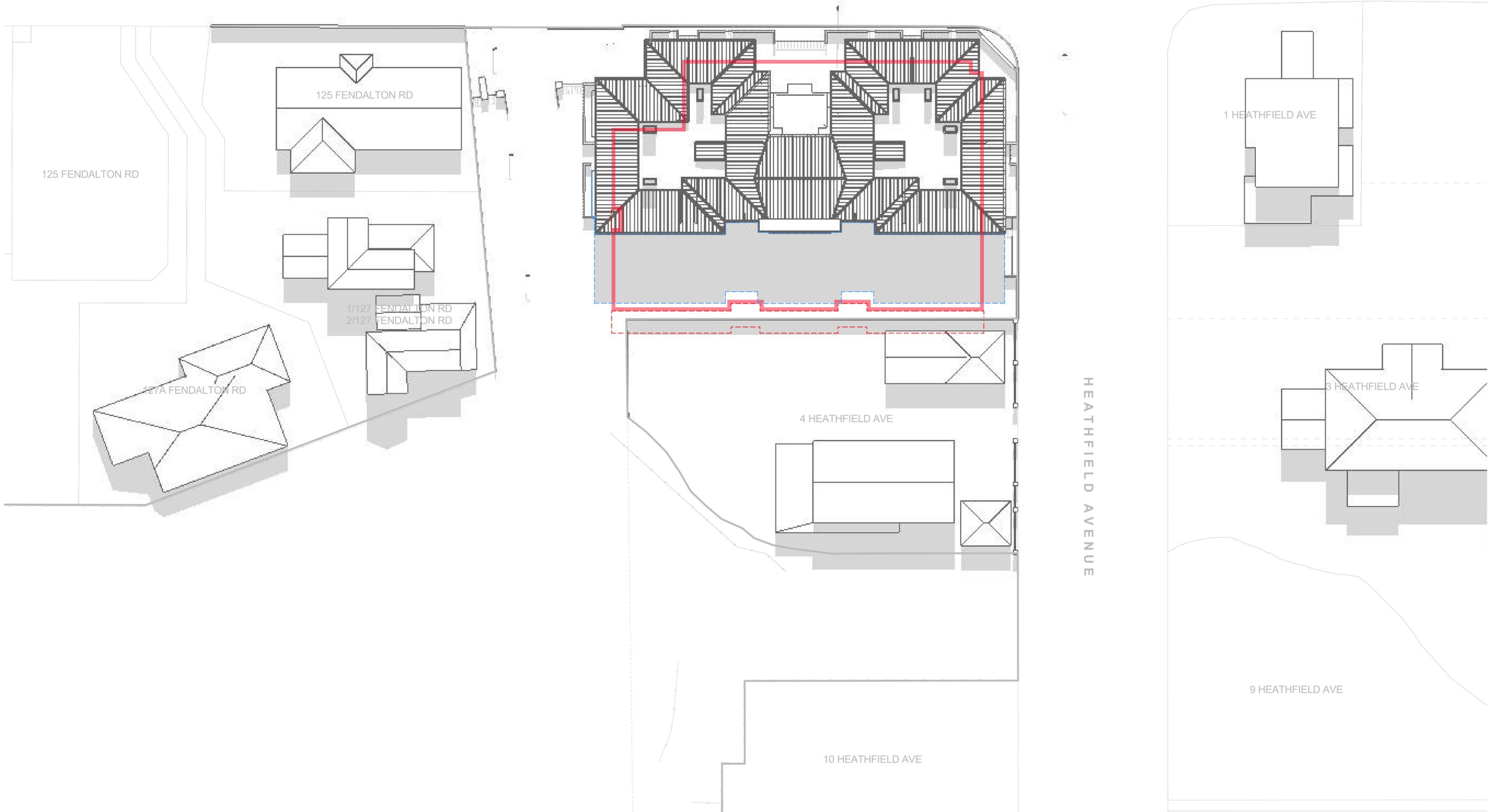
01 - WIP



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FENDALTON ROAD



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123 Fendalton Road

SHADING DIAGRAM - SEPTEMBER 22 2023 (12PM)



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Job # 2208

Scale @ A1

Sheet #

Revision

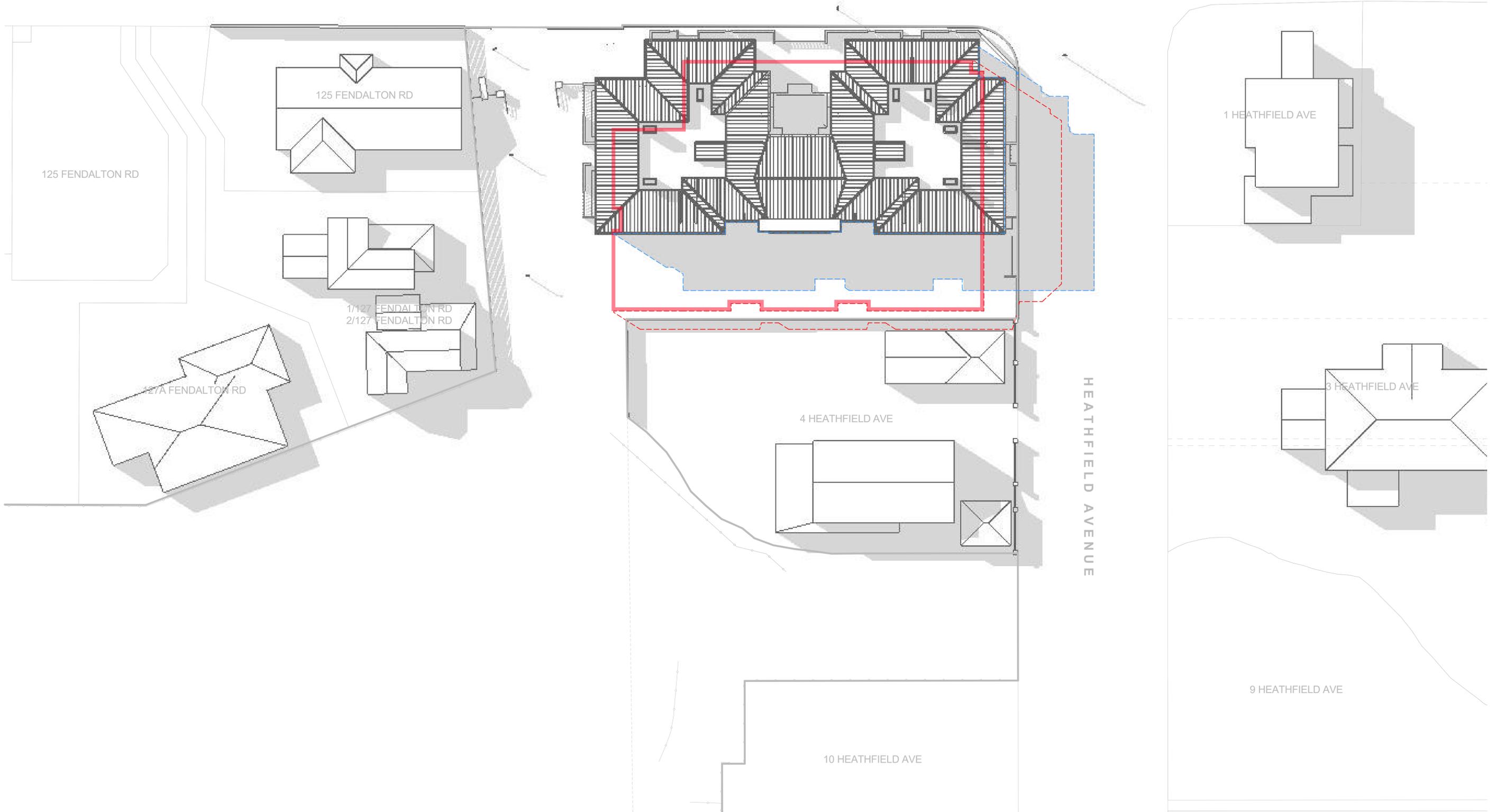
RC06-12

01 - WIP

FENDALTON ROAD

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SHADING DIAGRAM - SEPTEMBER 22 2023 (3PM)



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RC06-13

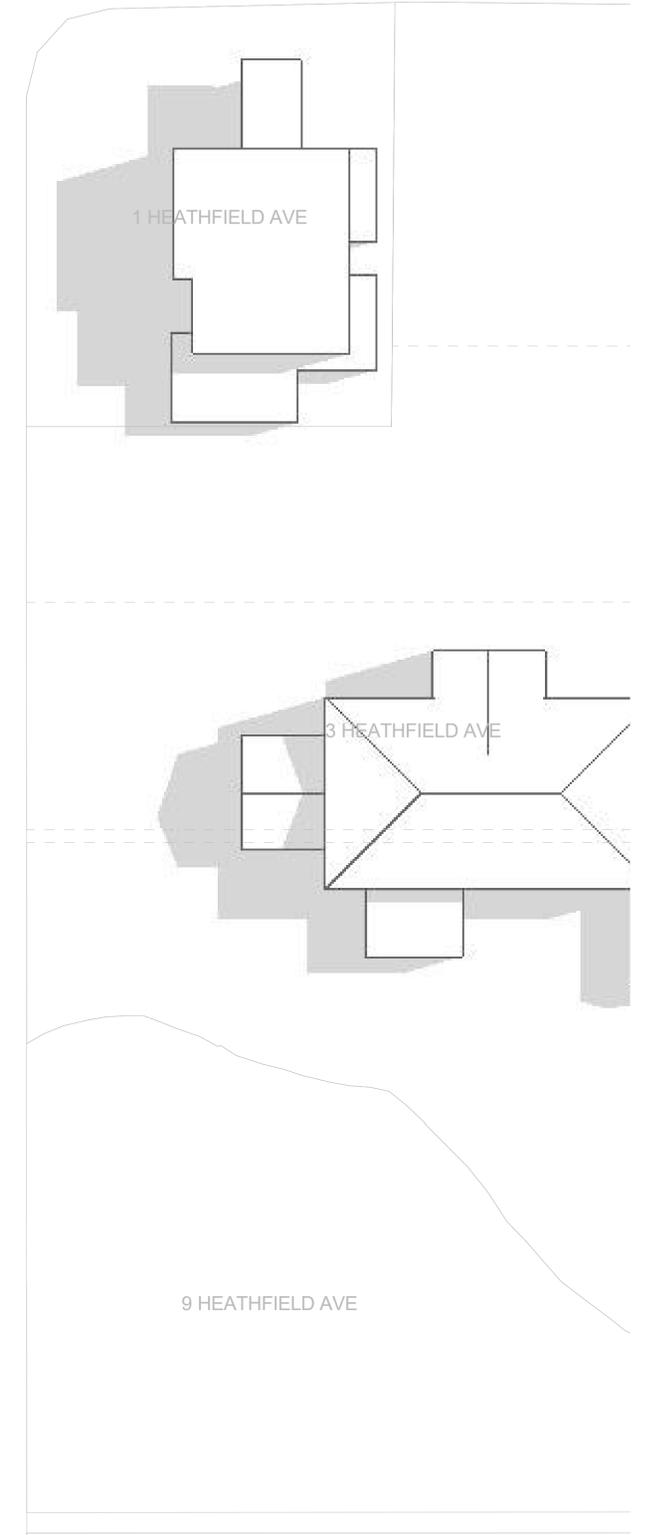
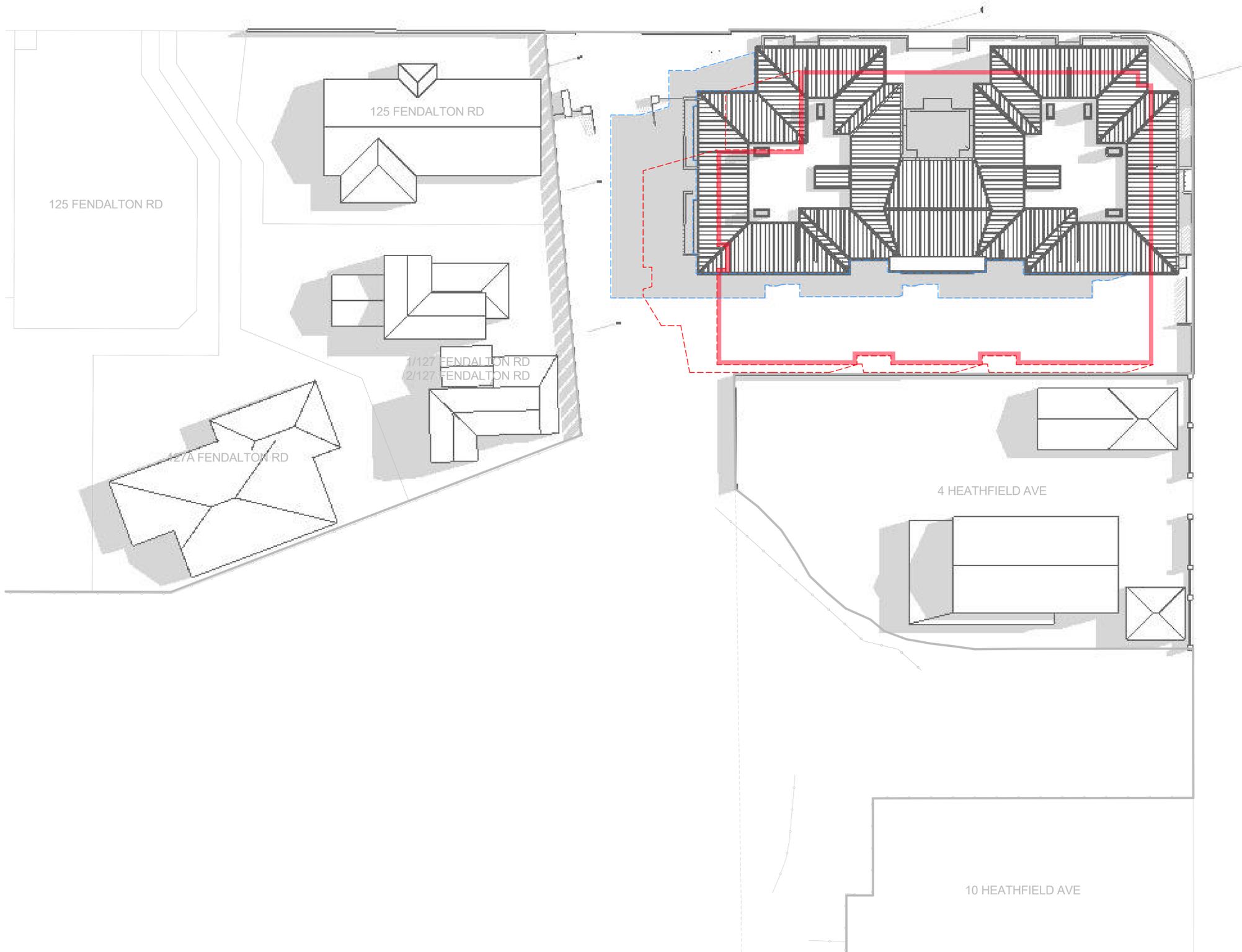
01 - WIP



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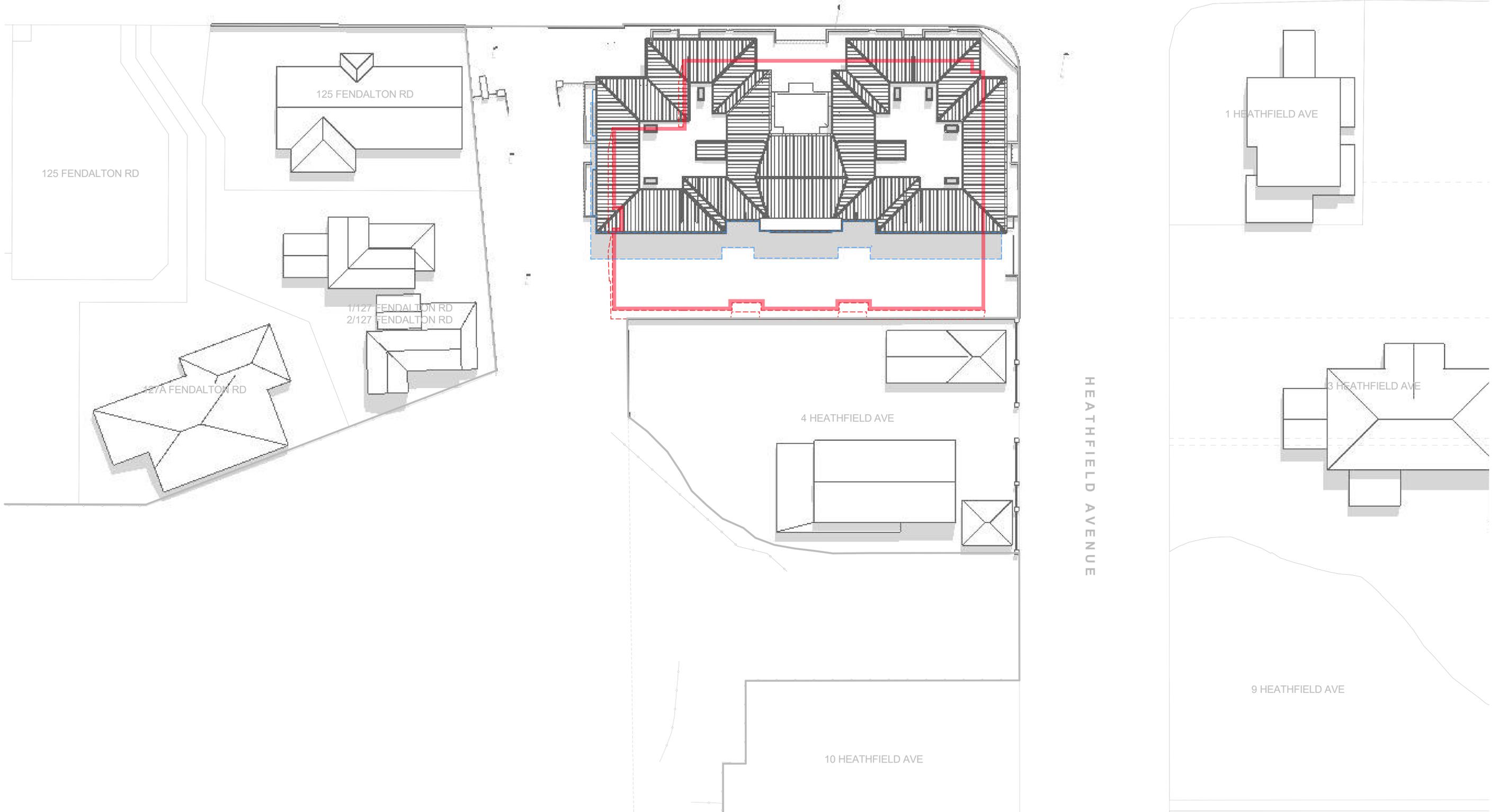
FENDALTON ROAD



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01 - WIP Work in Progress RESOURCE CONSENT

Job # 2208

Scale @ A1

Sheet #

Revision

RC06-15

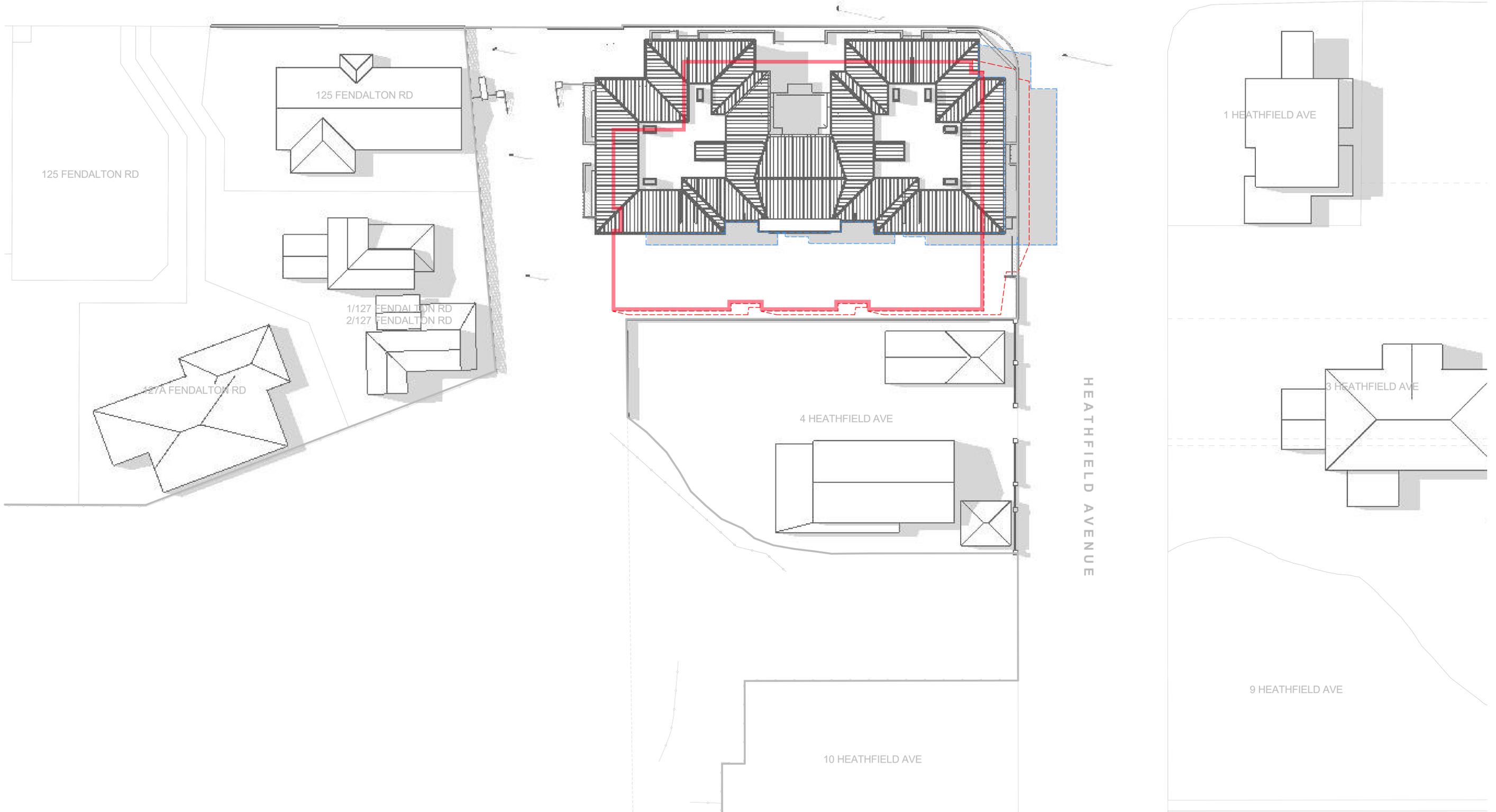
01 - WIP



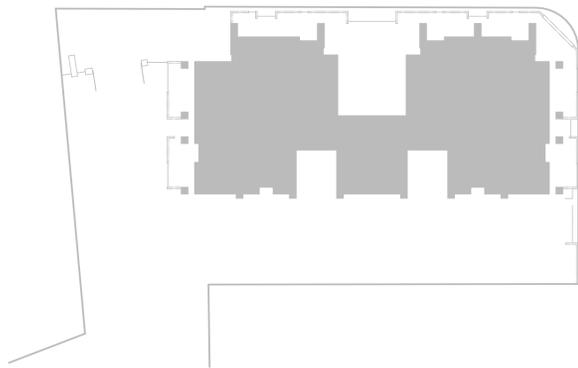
LEGEND

- BASELINE FORM OUTLINE
8M HIGH FORM WITHIN BOUNDARY
SETBACK, RECESION PLANE, AND SITE
COVERAGE LIMITATIONS.
- - - OUTLINE OF BASELINE FORM SHADOW
- - - OUTLINE OF PROPOSED BUILDING E
SHADOW

FENDALTON ROAD



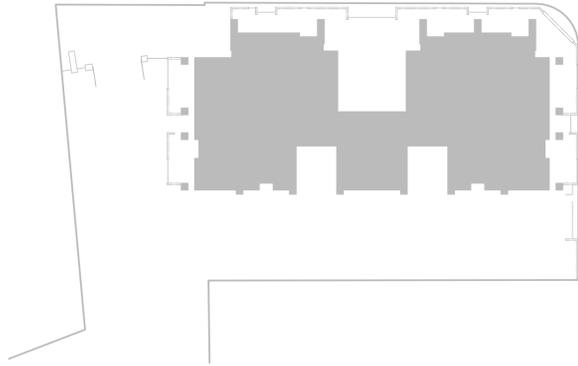
RENDER
VIEWPOINT 1



SITE PLAN (1:500)



RENDER
VIEWPOINT 2



SITE PLAN (1:500)



© IKON Architects Ltd.

**HOLLY LEA VILLAGE
BUILDING E**
123 Fendalton Road

ARTISTIC BUILDING RENDER - VIEWPOINT 2
TO BE READ IN CONJUNCTION WITH LANDSCAPE ARCHITECT PLANS

01 - WIP Work in Progress RESOURCE CONSENT

Job # 2208

Scale @ A1

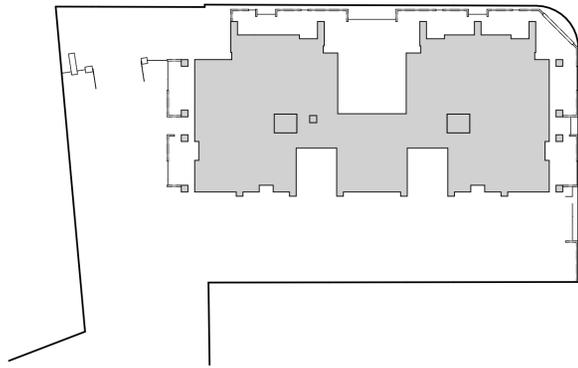
Sheet #

Revision

RC07-2

01 - WIP

RENDER
VIEWPOINT 3



SITE PLAN (1:500)



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HOLLY LEA VILLAGE BUILDING E

123 Fendalton Road

ARTISTIC BUILDING RENDER - VIEWPOINT 3
TO BE READ IN CONJUNCTION WITH LANDSCAPE ARCHITECT PLANS

01 - WIP Work in Progress RESOURCE CONSENT

Job # 2208

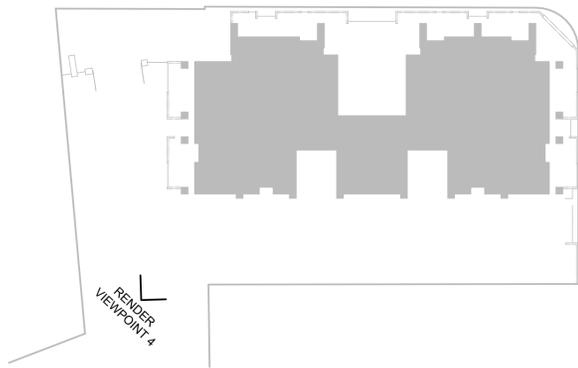
Scale @ A1

Sheet #

Revision

RC07-3

01 - WIP



SITE PLAN (1:500)





SITE PLAN (1:500)



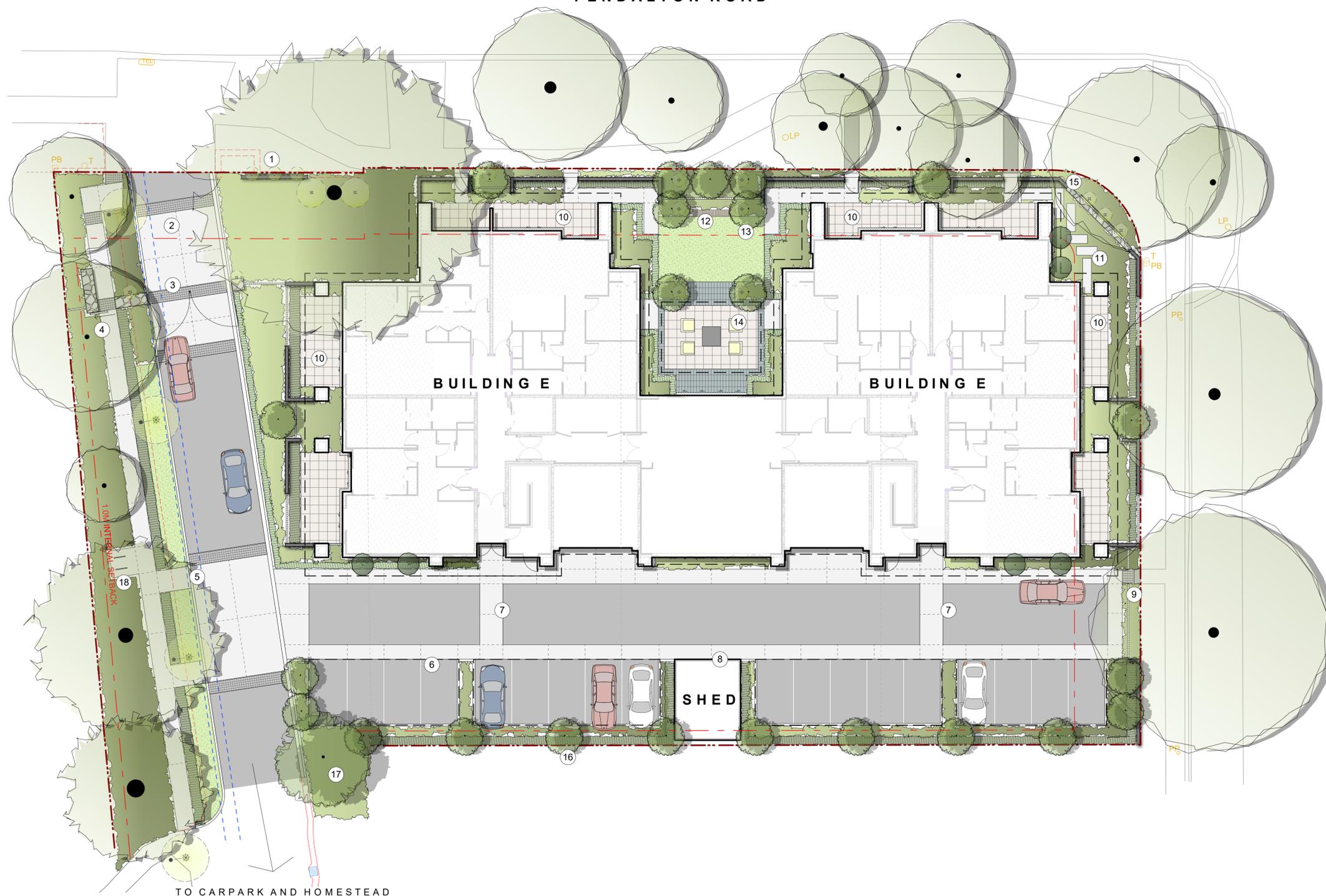
| REV | DATE | NOTES |
|-----|----------|------------------|
| 0 | 01/12/22 | CLIENT REVIEW |
| A | 31/01/23 | RESOURCE CONSENT |

Legend/Schedule

- Existing Protected Tree
- Existing Tree
- Proposed Feature Tree - 20no.
- Proposed shrubs and groundcovers - 710m2 (including garden associated with hedging)
- Proposed evergreen hedging clipped to 1.5m high
- Proposed box hedging clipped to 400 - 500mm high
- Lawn - 710m2
- In situ concrete paving with an exposed aggregate finish and 3mm sawcuts where shown - 415m2
- 100 x 100mm granite setts within driveway bands mortared to a concrete slab foundation, selected product to be confirmed - 27m2
- 500 x 500mm concrete pavers mortared to concrete slab foundation, selected paver to be confirmed - 132m2
- 400 x 200mm bluestone paver mortared to a concrete slab foundation - 20m2
- Asphalt, refer to Civil Engineers drawings - 540 m2
- 1.6m high Masonry block walls/planters with a plastered finish and stone capping to match walls used in Buildings B - 78lm
- Stone veneer walls around 20 series masonry block core
- 1.5m high Aluminium 'Open Style' Pool fence - 42lm
- Orion Easement
- Property boundary
- Building roof overhang
- Existing Pole Lights to remain
- Uplights, selected fitting to be confirmed - 19no.

FENDALTON ROAD

HEATHFIELD AVENUE



TO CARPARK AND HOMESTEAD

KEY

- | | | |
|---|---|--|
| <ul style="list-style-type: none"> ① Existing stone walls along the Fendalton Road boundary to be removed. New signage wall to matching the Tui Street Entrance Wall shall be constructed ② Exposed aggregate concrete thresholds with stone sett banding either side ③ Automated double leaf vehicular steel gates, design to match the existing gates at the Tui Street Entrance. ④ Automated sliding steel gate between (2x) stone columns. Design of gate to match the swing gate off Fendalton Road. ⑤ Breaks in hedging adjacent pedestrian path to allow informal pedestrian access to Building E. ⑥ Carparks to have overhead open-sided carports, design to be confirmed | <ul style="list-style-type: none"> ⑦ Exposed aggregate banding extending from entrance doors to mark entrances into Building E ⑧ Utility Shed, design to be worked up in conjunction with Ruomoko and Ikon ⑨ Automated pedestrian gate. Design of gate to match the swing gates off Fendalton Road. ⑩ Exterior patios to finish flush with building floor levels. ⑪ In situ concrete stepping slabs with a sanblasted finish to meander through garden connecting patios for Apartment 105 ⑫ Custom designed timber slat bench seat to the end of the shared common | <ul style="list-style-type: none"> ⑬ Grove of feature courtyard trees. Trees to be either a Flowering Dogwood, Upright Cherry Tree or similar ⑭ Timber pergola with steel posts over shared external common terrace. Design to be confirmed. ⑮ Stone wall to Heathfield Ave corner with signage to the front to match other signage walls. ⑯ Trees along South boundary to be either an Upright Tulip Tree, Upright Hornbeam or similar ⑰ Proposed Specimen Tree to be a Pin Oak or similar ⑱ (2x) Visitor Cycle Parks |
|---|---|--|

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**LANDSCAPE CONCEPT PLAN
 HLV BUILDING E
 123 FENDALTON ROAD
 CHRISTCHURCH**

JOB No. 22195

SCALE 1:150 @ A1

DATE 29/11/2022

DESIGNED RMM

DRAWN RMM

CHECKED RMM

STATUS RESOURCE CONSENT

DRAWING No. REVISION

L 1.0 A

SERIES

1 of 2



RMML

Contents

| | |
|------------------------|----|
| Design Vision | 03 |
| Design Objectives | 04 |
| Landscape Concept Plan | 05 |
| Planting Plan | 06 |
| Planting Palette | 07 |
| Hard Materials Palette | 08 |

Disclaimer

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The landscape of Holly Lea Village - Block E will continue the strong design qualities and finishing established in the previous village projects. The external environment to Block E will not only provide a strong connection back to other areas of the village, but it will provide the village front door and visitor first impressions from Fendalton Road.

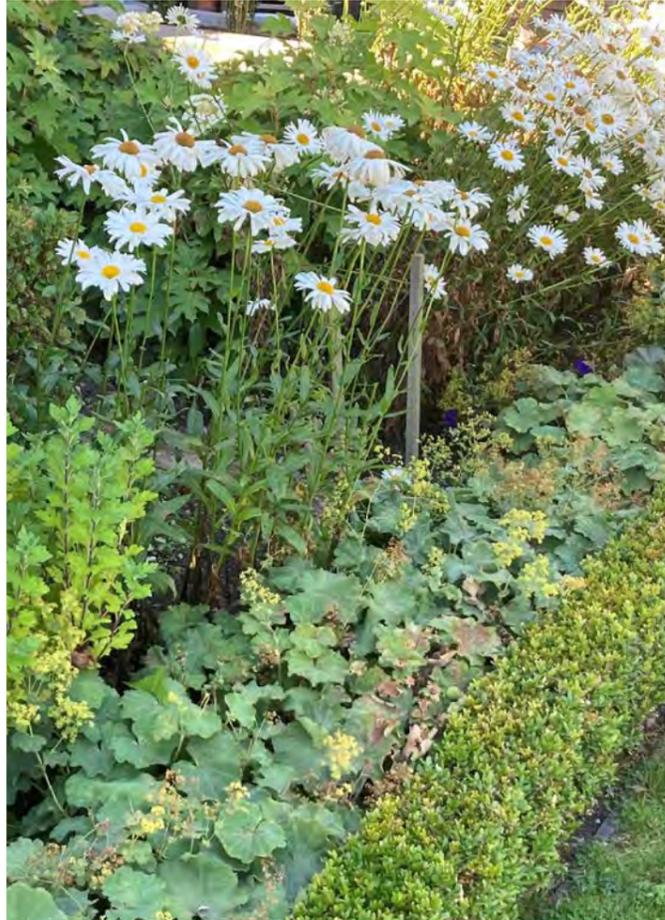
Key to a successful outcome will be providing a sophisticated, refined and elegant planting design, a continuation of the planting scheme already implemented. Given the development will be on full display from Fendalton Road, the planting and landscape design will offer a glimpse of what can be found if one was to venture further into the village. Planting will be utilised to offset the size of the building, creating a bed for which the building can nestle within it's surrounding landscape.

Materials will be consistent with the wider site, comprising of robust and high quality finishes that connect with the building, resulting in a cohesive design.

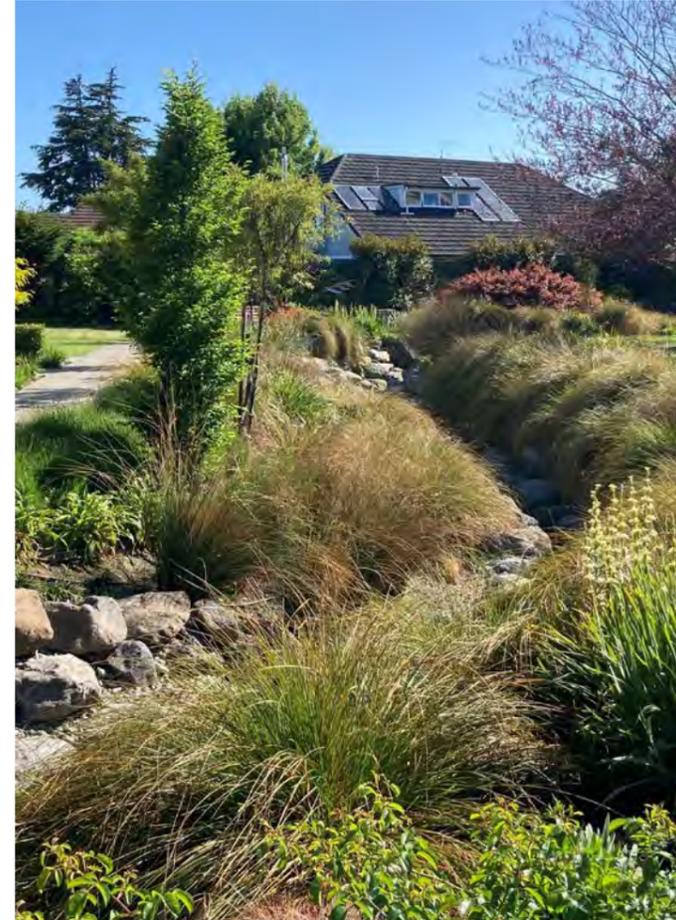
Connected, Grounded and Peaceful will be characteristics embodied by the landscape of Building E.



CONNECTED



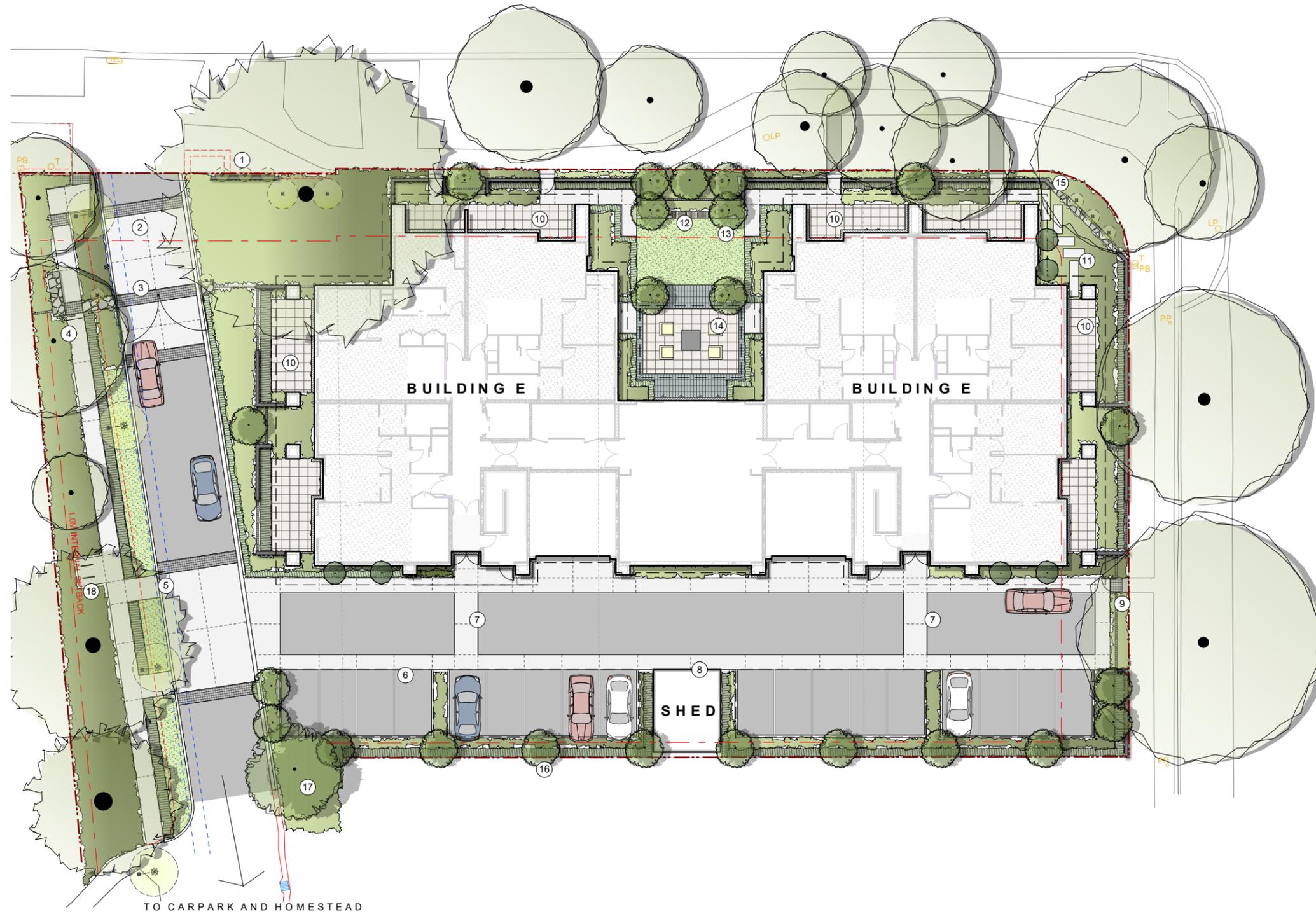
PEACEFUL



GROUNDED

Landscape Concept Plan

FENDALTON ROAD



Legend/Schedule

- Existing Protected Tree
- Existing Tree
- Proposed Feature Tree - **20no.**
- Proposed shrubs and groundcovers - **710m²** (including garden associated with hedging)
- Proposed evergreen hedging clipped to 1.5m high
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KEY

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|---|--|--|



Scale 1:300 @ A3

Plant Palette

Trees



Flowering Dogwood
Cornus 'Eddies White Wonder'



Upright Cherry Tree
Prunus 'Amanogawa'



Upright Hornbeam
Carpinus betulus 'Fastigiata'



Upright Tulip Tree
Liriodendron tulipifera 'Fastigiata'



Pin Oak
Quercus palustris

Hedging



Box Hedge
Buxus sempervirens



Escallonia
Escallonia spp.



Camellia
Camellia spp.



Broadleaf
Griselinia littoralis

Shrubs and Groundcovers



Flax-Lily
Dianella 'Little Rev'



Hen and Chicken Fern
Asplenium bulbiferum



Rengarenga
Arthropodium cirratum



Carpet Rose
Rosa 'Flower Carpet'



Winter Rose
Helleborus spp



English Lavender
Lavandula angustifolia



Blue Daisy
Felicia amelloides



Libertia
Libertia formosa



White Liriope
Liriope muscari 'Monroe White'



Mexican 'Orange Blossom'
Choisya ternata

Hard Materials Palette



**Exposed Aggregate
Concrete Paving**
Driveway and pathways



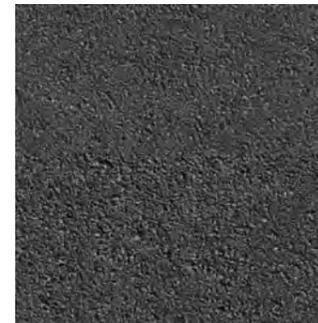
Granite Setts
Driveway Bands



Bluestone Paving Bands
Courtyard Headercourse



Concrete Paver Patios
Patios



Asphalt
Driveway and Carparks



**Sandblasted Concrete
Paving**
Stepping Slabs



Hardwood
Courtyard Seat

SURFACING



Steel Gates
Entrances



**Plastered Walls with Stone
Capping**
Boundary Walls



Stone Walls
Gate Columns and Walls



Aluminium Fencing/Gates
Boundary Fencing



Steel and Timber Pergola
Shared Patio

FURNITURE FENCING

ROUGH MILNE MITCHELL
LANDSCAPE ARCHITECTS

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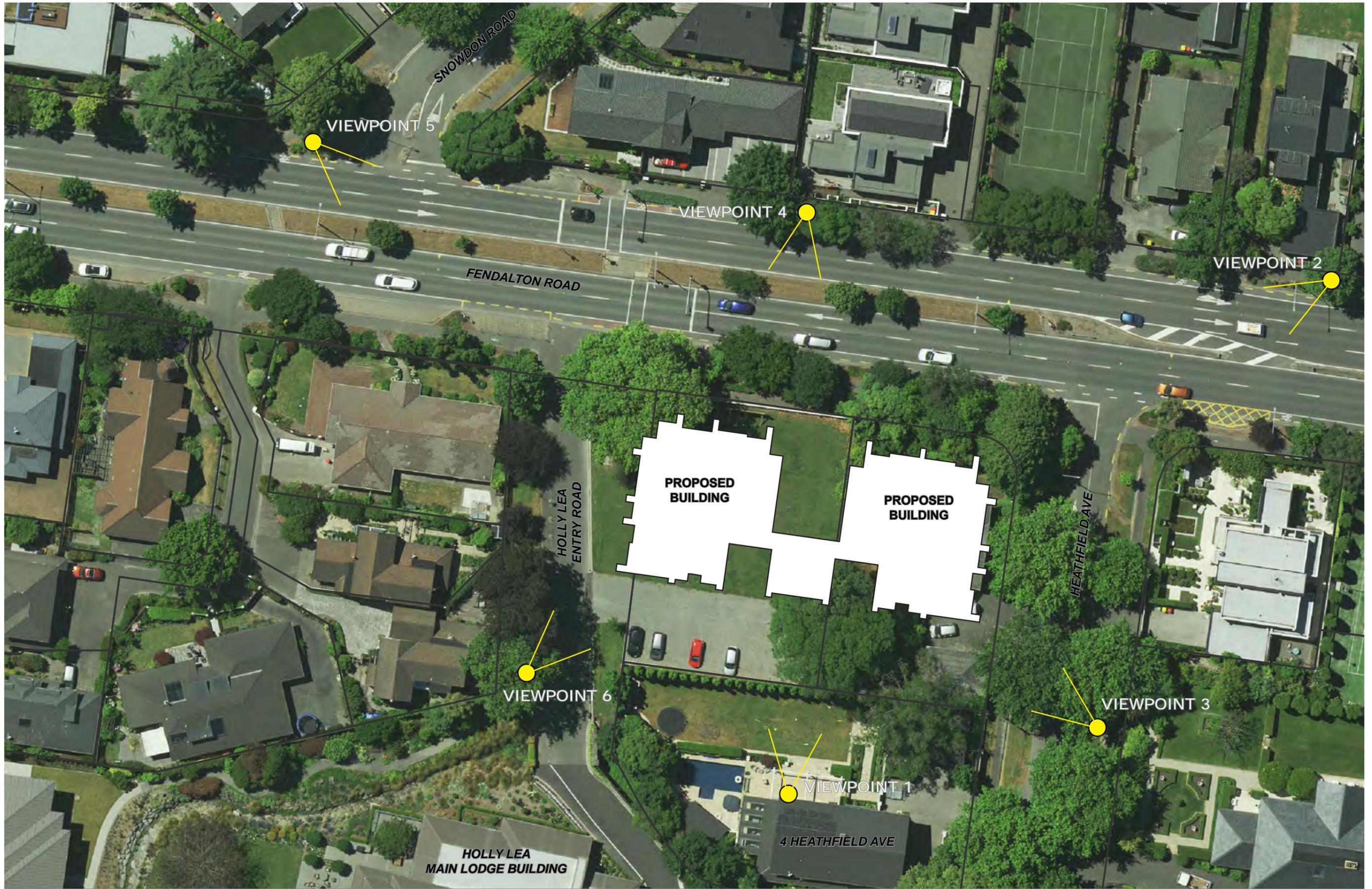
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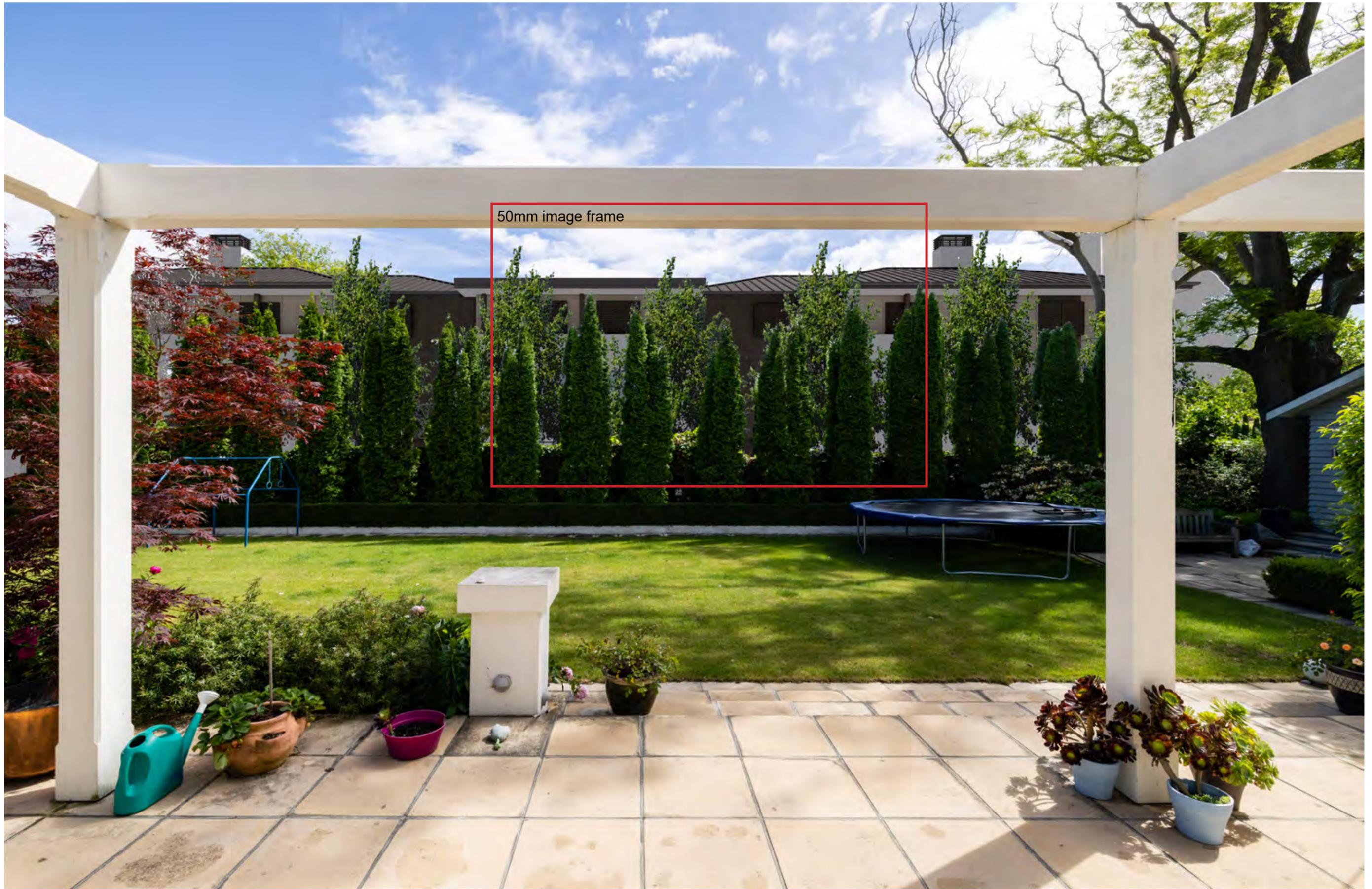
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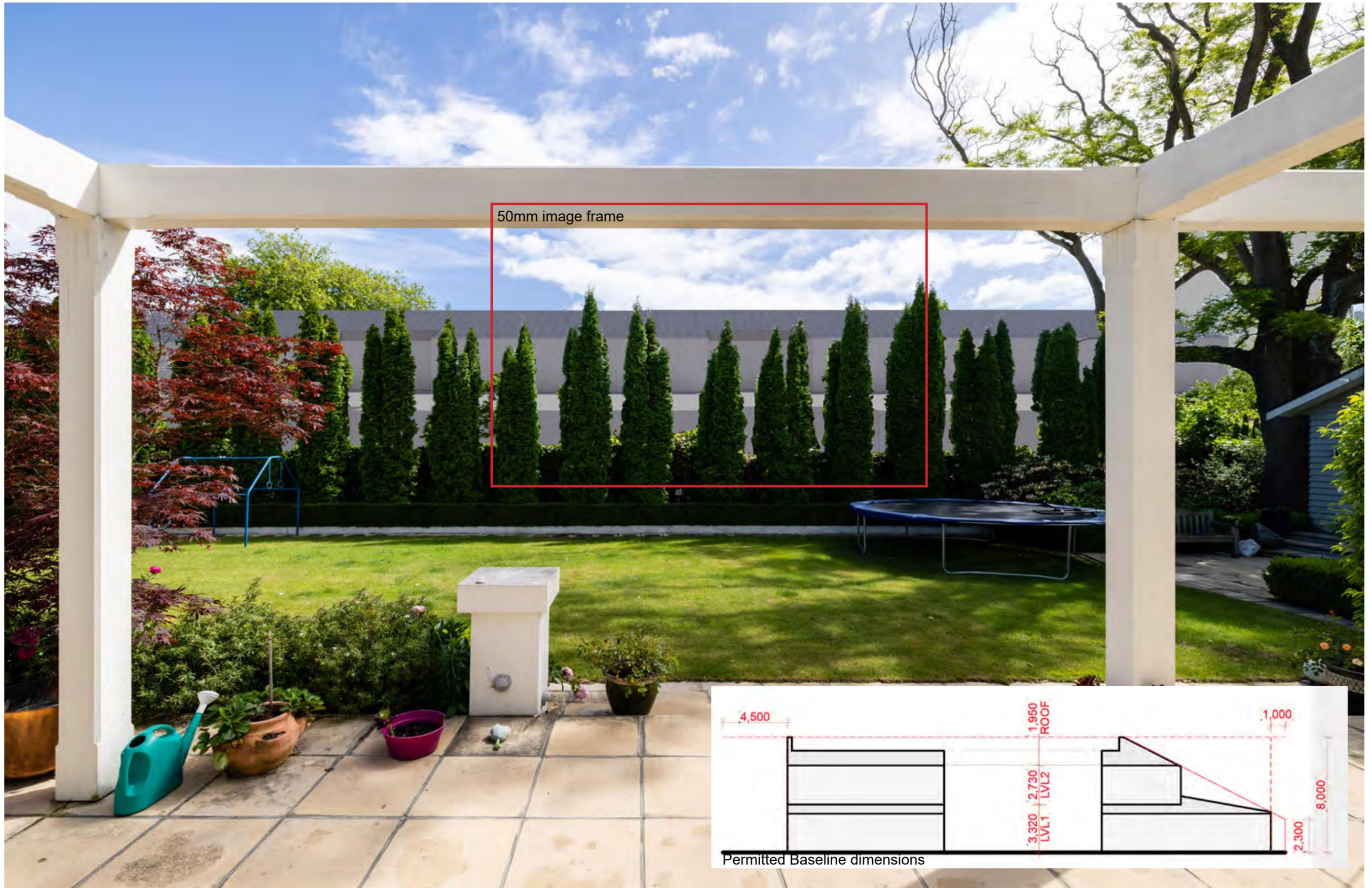




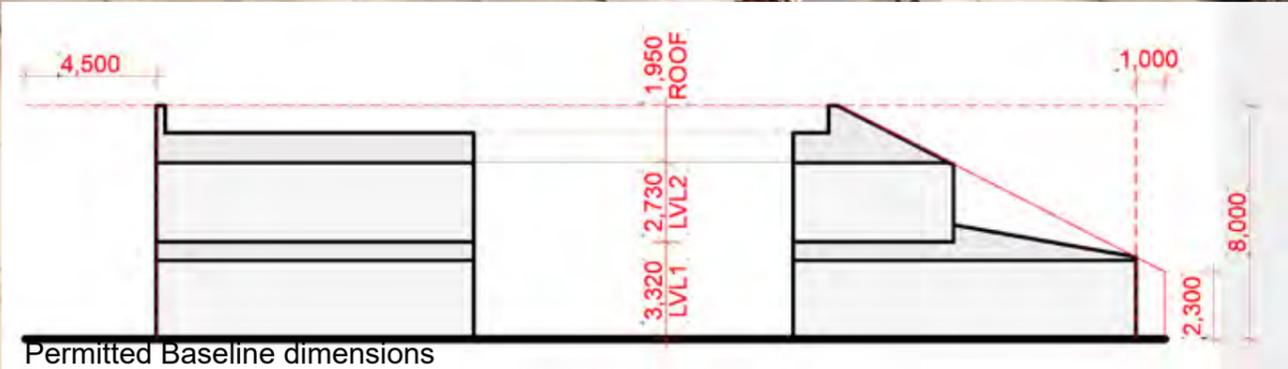
50mm image frame



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50mm image frame



Permitted Baseline dimensions



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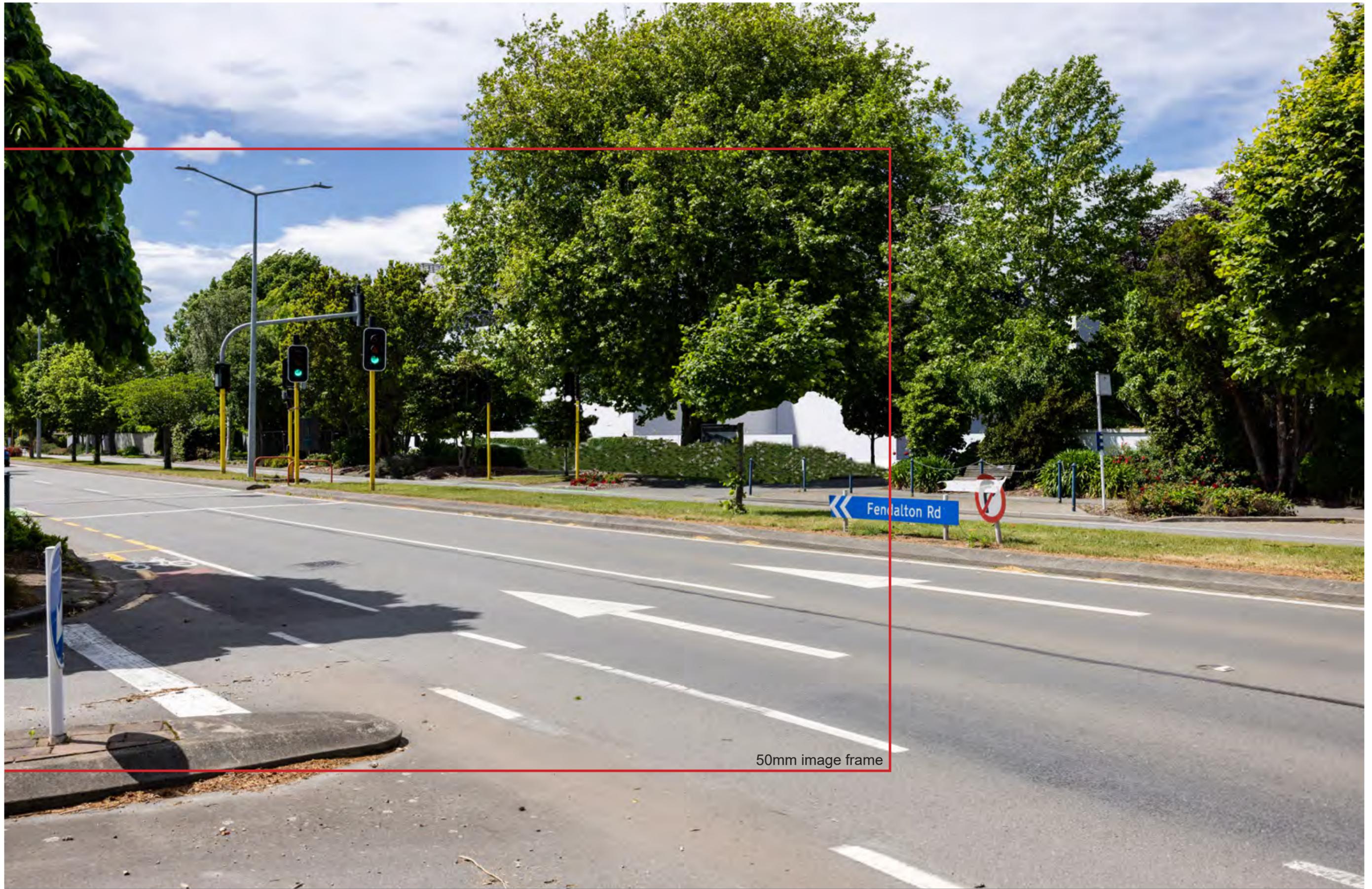
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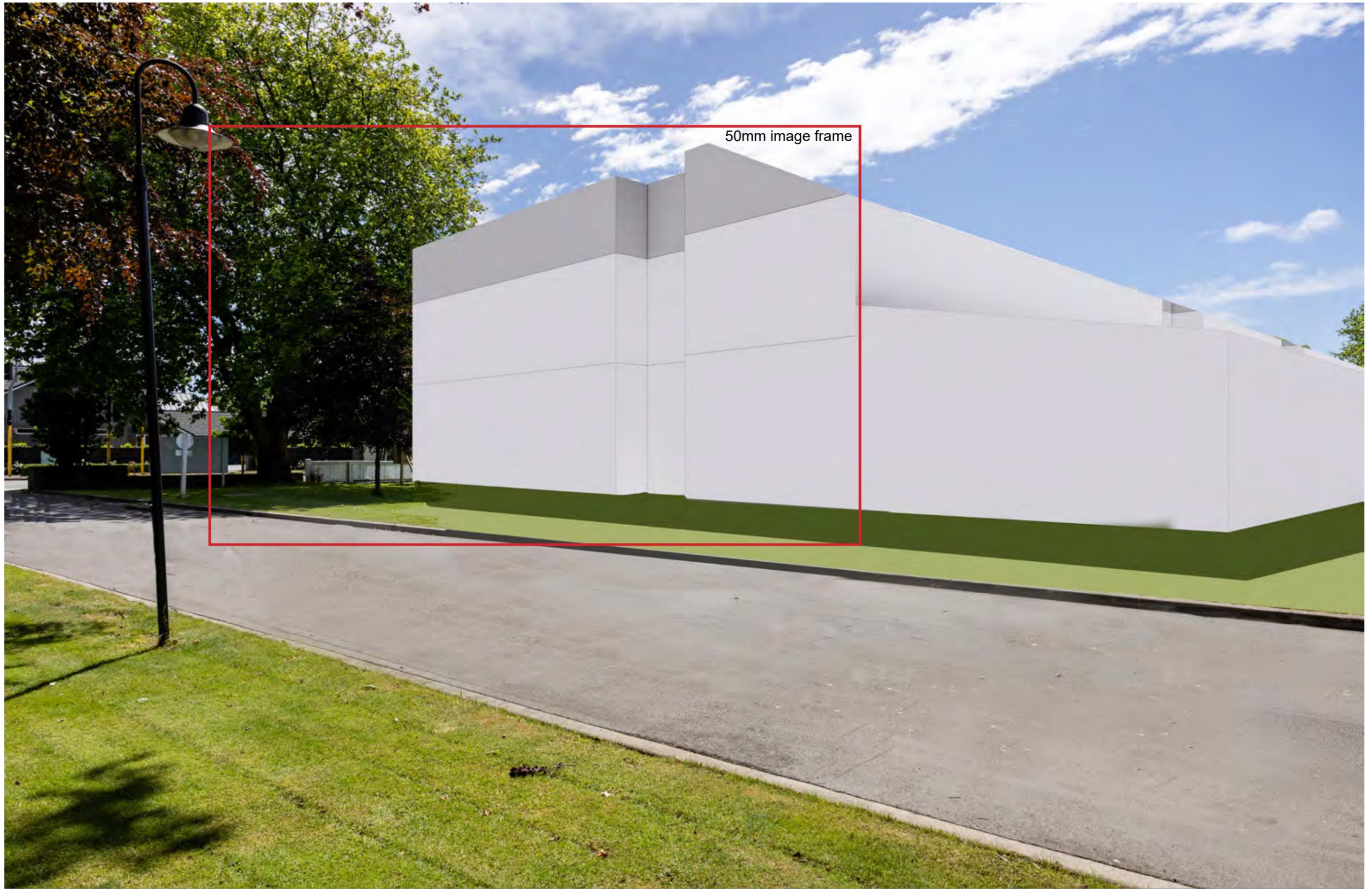




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