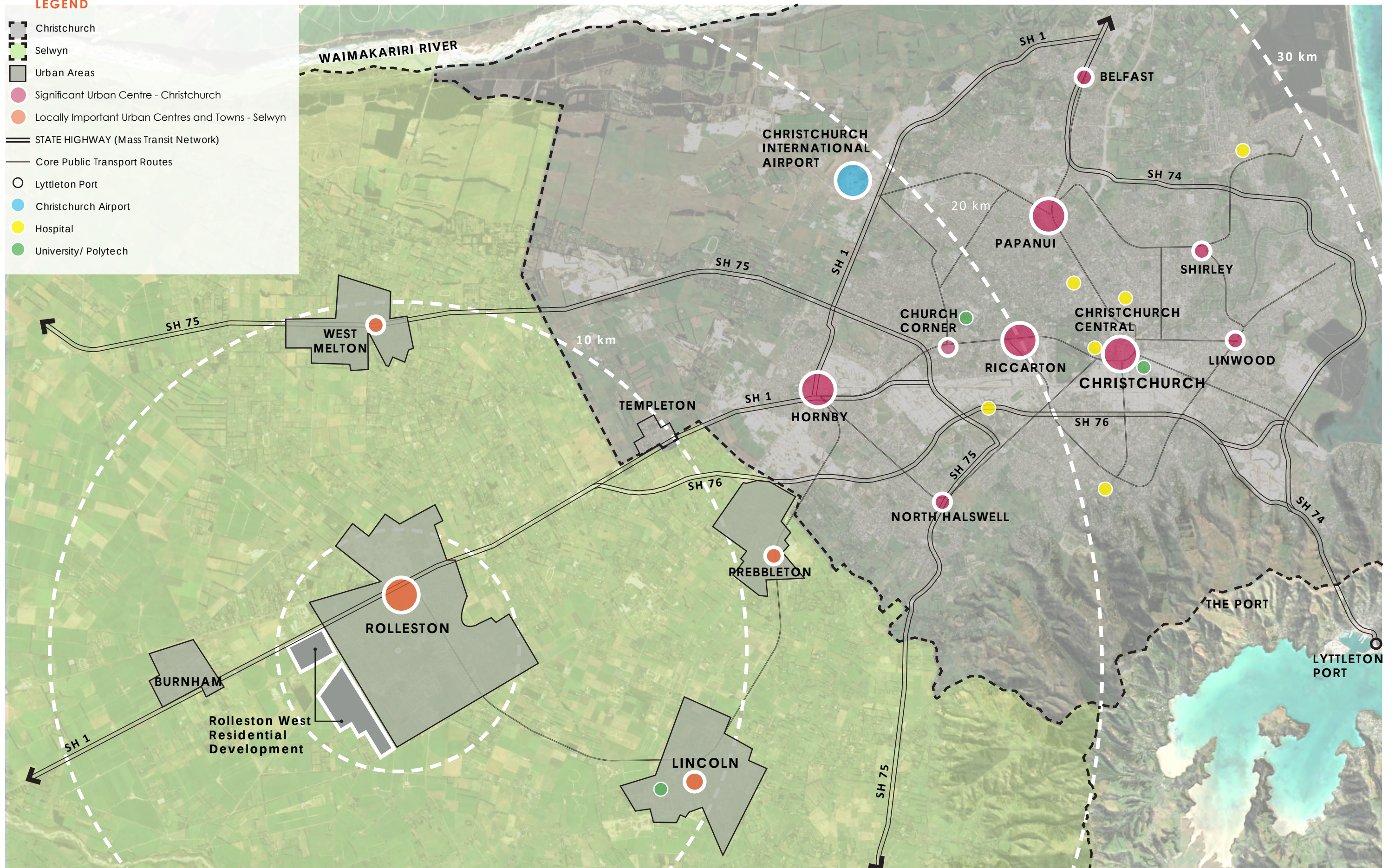
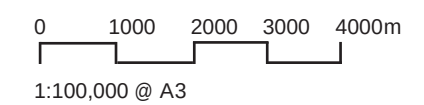


LEGEND

- Christchurch
- Selwyn
- Urban Areas
- Significant Urban Centre - Christchurch
- Locally Important Urban Centres and Towns - Selwyn
- STATE HIGHWAY (Mass Transit Network)
- Core Public Transport Routes
- Lyttleton Port
- Christchurch Airport
- Hospital
- University/ Polytech

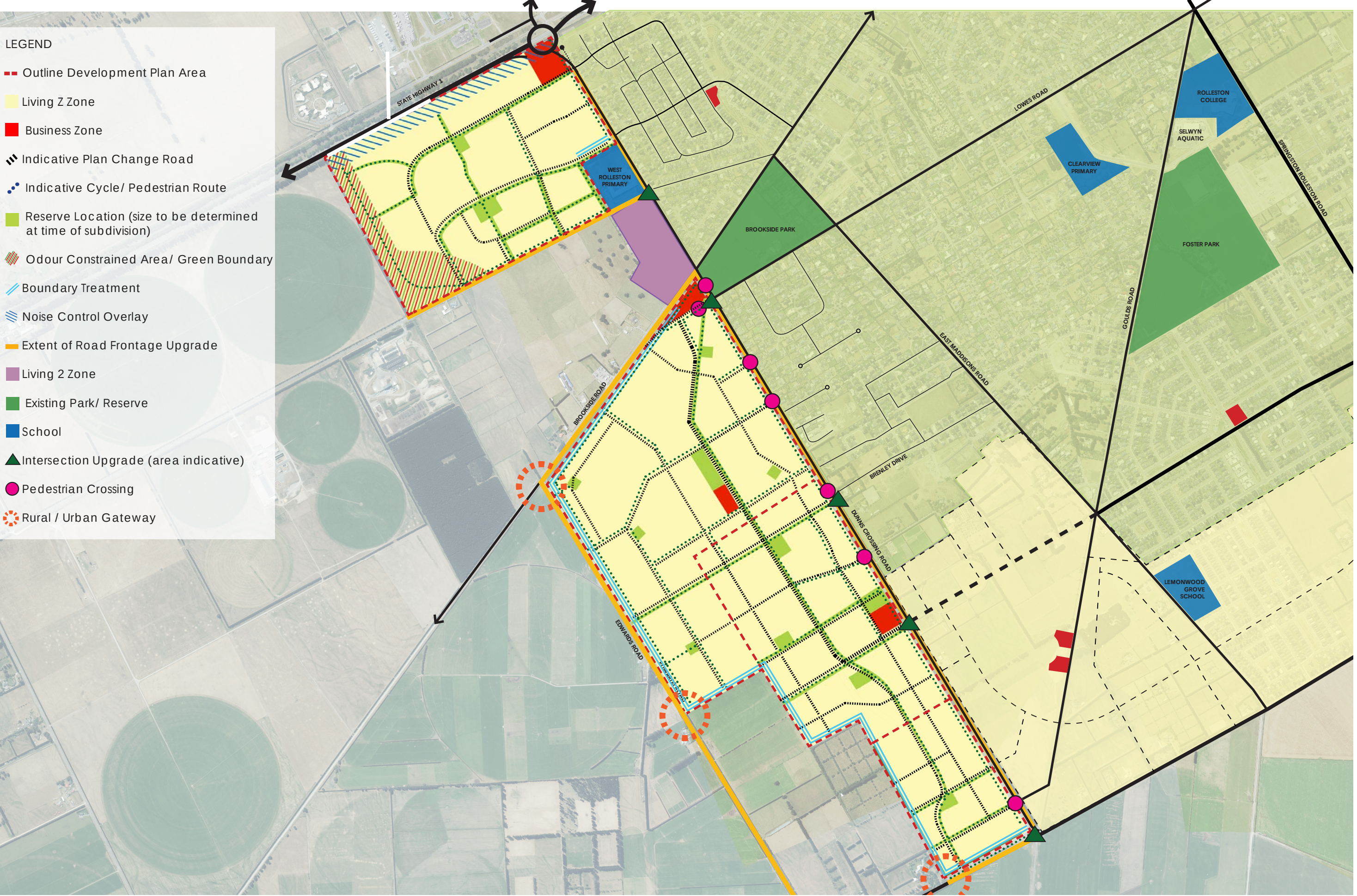


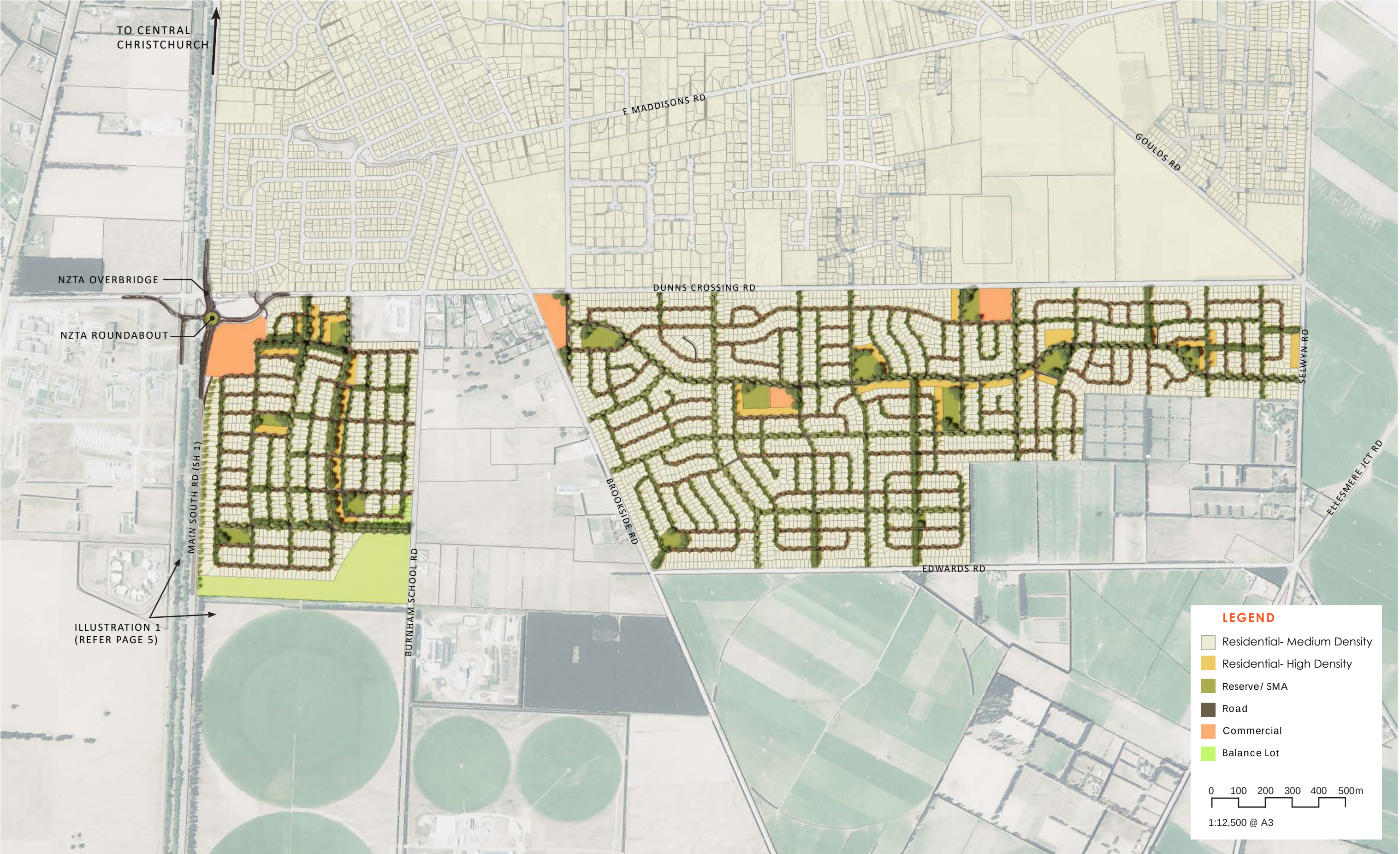
2024_052 ROLLESTON WEST RESIDENTIAL DEVELOPMENT



LEGEND

- Outline Development Plan Area
- Living Z Zone
- Business Zone
- Indicative Plan Change Road
- Indicative Cycle/ Pedestrian Route
- Reserve Location (size to be determined at time of subdivision)
- Odour Constrained Area/ Green Boundary
- Boundary Treatment
- Noise Control Overlay
- Extent of Road Frontage Upgrade
- Living 2 Zone
- Existing Park/ Reserve
- School
- Intersection Upgrade (area indicative)
- Pedestrian Crossing
- Rural / Urban Gateway





A. LANDSCAPE CONCEPT PLAN (1:12,500)

client / project name: ROLLESTON WEST RESIDENTIAL PLAN CHANGE
drawing name: LANDSCAPE CONCEPT PLAN
designed by: DCM Team
drawn by: DCM Team
original issue date: 30/04/2024
scale: 1:12,500 @ A3

revision no:	amendment:	approved	date
A	Issue for Comment	DCM	30/04/2024
B	Response to Comments	DCM	01/05/2024
C	Response to Comments	DCM	02/05/2024



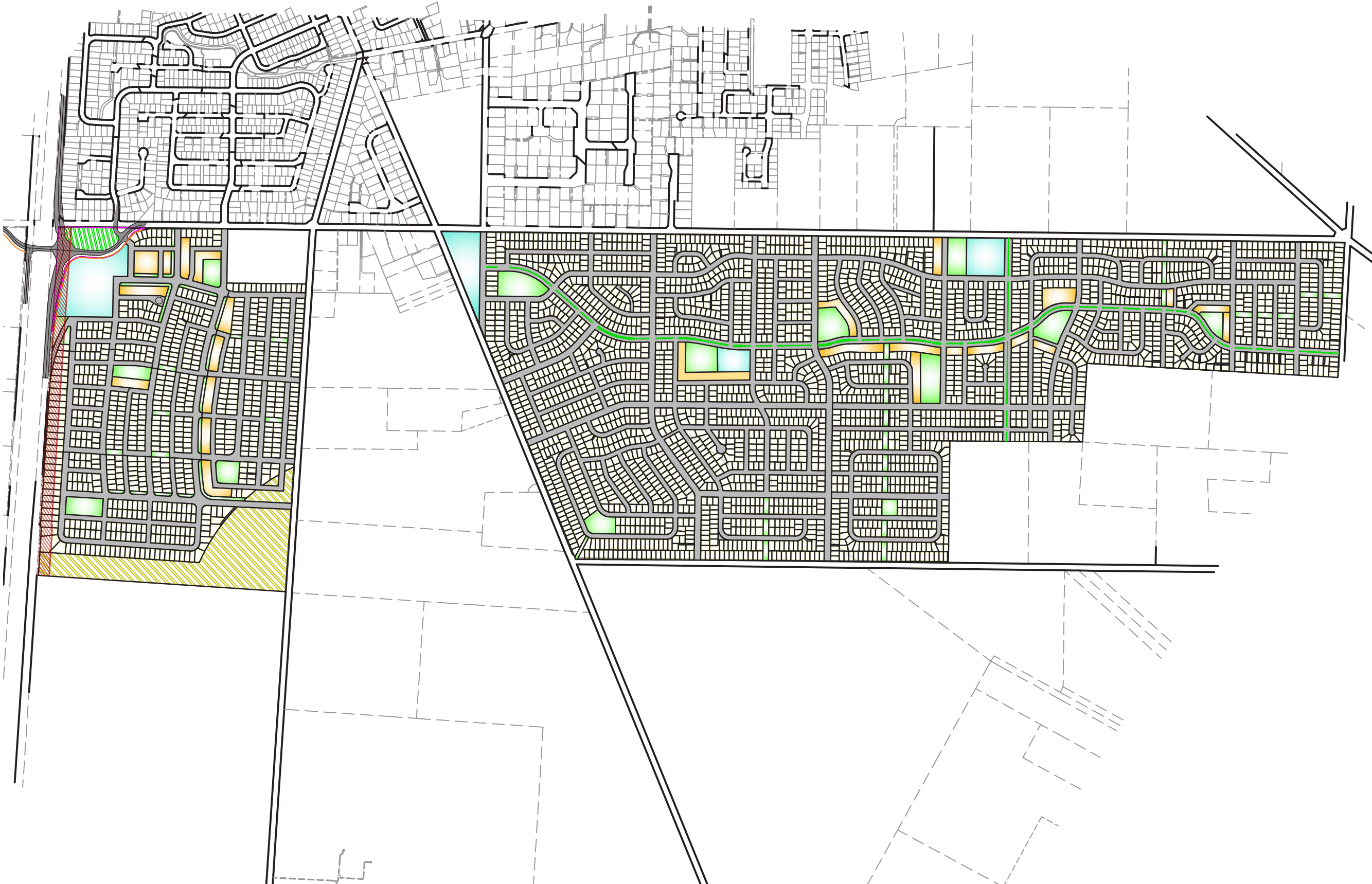
DCM URBAN DESIGN LIMITED
10/254 ST. ASAPH STREET
CHRISTCHURCH 8011
WWW.DCMURBAN.COM



ILLUSTRATION 1: ELEVATED PERSPECTIVE
2024_052 ROLLESTON WEST RESIDENTIAL DEVELOPMENT



ILLUSTRATION 2: ELEVATED PERSPECTIVE
2024_052 ROLLESTON WEST RESIDENTIAL DEVELOPMENT



LEGEND	
	Lot Boundary
	Legal Road Boundary
	Abuttal Boundary
	Existing Easement Boundary
	No-build Extent of Odour Line
	No-build Highway Setback Line

SCHEDULE OF AREAS			
TYPE	No OF LOTS	AVERAGE AREA (m2)	TOTAL AREA (m2)
RESIDENTIAL – MEDIUM DENSITY	3800	457	1738230
RESIDENTIAL – HIGH DENSITY	400	250	100000
RESERVE/SMA			131170
ROAD			795085
COMMERICAL			77398
BALANCE LOT			112430
TOTAL	4200		2954313

SCHADULE OF ROADS	
ROAD TYPE	LEGAL WIDTH
PRIMARY	24m
SECONDARY	21m
TERTIARY 1	18m
TERTIARY 2	15.5m

- NOTES**
- ALL AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY.
 - A FULL ASSESSMENT OF EASEMENTS WILL BE UNDERTAKEN AFTER THE ENGINEERING ACCEPTANCE AND ADDED WHERE REQUIRED.
 - THIS PLAN IS SUBJECT TO THE GRANTING OF SUBDIVISION CONSENT.

Territorial Authority: Selwyn District Council

Application Address: Dunns Crossing Road, Rolleston

Legal Description: Section 2 SO 480906, Lot 3 & Lot 4 DP 20007, Lot 1 DP 82068, Lot 1 DP 72132, Part Section 4 RES 1342, Part RS 31356, Part RS 31354, RS 25807, RS 23614.

Comprised In: CB27B/97, CB8B/345, CB24F/1018, CB41D/425, CB772/69, CB47B/859, RT 686983.

Registered Owner: White Gold Limited, Brookside Road Residential Limited, Rolleston West Residential Limited, Karen Diane McIlraith, Paul Andrew McIlraith, Alison Jeanette Smith, Paul David Tyson.

Rev#		Description	Drawn	Date		Level 1, 93 Manchester St, Christchurch 8022 Ph. 03 377 3290 Level 1, Shed 19, Princess Wharf, Auckland 1010 Ph. 09 600 1099 www.inovo.nz	Scale A1 1:6250 Scale A3 1:12500 DO NOT SCALE FROM DRAWING	Drawn ZC Approved DR Date 23.04.2024	Client	ROLLESTON WEST RESIDENTIAL LIMITED	Project	ROLLESTON WEST DUNNS CROSSING ROAD	Drawing Title PROPOSED SUBDIVISION OF ROLLESTON WEST	Status FOR CONSENT		
														Drawing No. 15861-AP-001		Rev C
C	PARCEL LAYOUT UPDATED		ADM	01.05.24												
B	UPDATED PARCELS LAYOUT		ZC	29.04.24												
A	FOR CONSENT		ZC	23.04.24												
Disclaimer: This document shall only be reproduced in full with approval from Inovo Projects Ltd.																



LEGEND

	Stage Boundary
	Lot Boundary
	Legal Road Boundary
	Abuttal Boundary
	Existing Easement Boundary
	No-build Extent of Odour Line
	No-build Highway Setback Line

SCHEDULE OF AREAS			
TYPE	No OF LOTS	AVERAGE AREA (m2)	TOTAL AREA (m2)
RESIDENTIAL – MEDIUM DENSITY	3800	457	1738230
RESIDENTIAL – HIGH DENSITY	400	250	100000
RESERVE/SMA			131170
ROAD			795085
COMMERICAL			77398
BALANCE LOT			112430
TOTAL	4200		2954313

SCHADULE OF ROADS	
ROAD TYPE	LEGAL WIDTH
PRIMARY	24m
SECONDARY	21m
TERTIARY 1	18m
TERTIARY 2	15.5m

NOTES

1. ALL AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY.
2. A FULL ASSESSMENT OF EASEMENTS WILL BE UNDERTAKEN AFTER THE ENGINEERING ACCEPTANCE AND ADDED WHERE REQUIRED.
3. THIS PLAN IS SUBJECT TO THE GRANTING OF SUBDIVISION CONSENT.

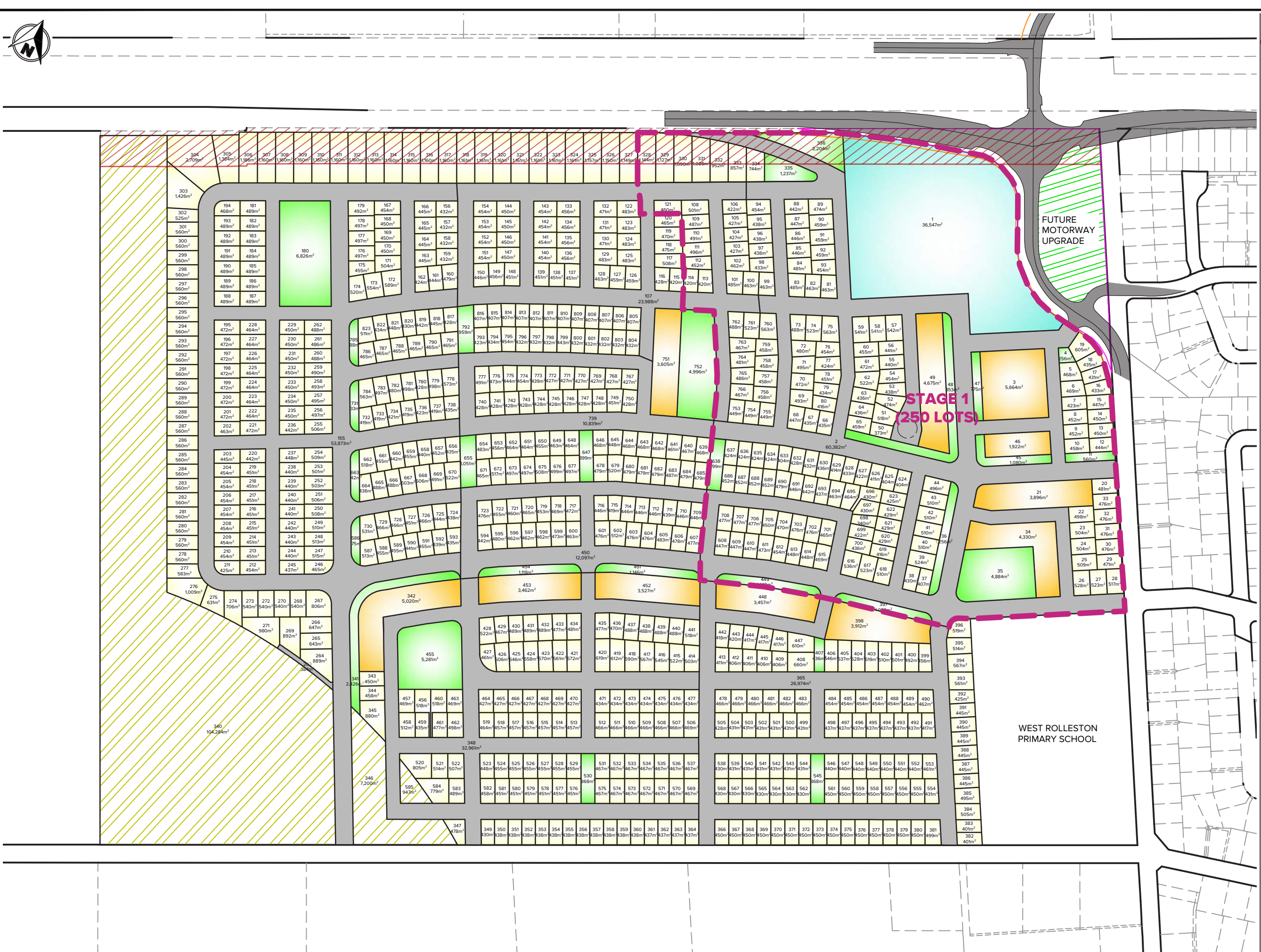
Territorial Authority: Selwyn District Council

Application Address: Dunns Crossing Road, Rolleston

Legal Description: Section 2 SO 480906, Lot 3 & Lot 4 DP 20007, Lot 1 DP 82068, Lot 1 DP 72132, Part Section 4 RES 1342, Part RS 31356, Part RS 31354, RS 25807, RS 23614, CB27B/97, CB8B/345, CB24F/1018, CB41D/425, CB772/69, CB47B/859, RT 686983.

Comprised In: White Gold Limited, Brookside Road Residential Limited, Rolleston West Residential Limited, Karen Diane McIlraith, Paul Andrew McIlraith, Alison Jeanette Smith, Paul David Tyson.

Registered Owner: White Gold Limited, Brookside Road Residential Limited, Rolleston West Residential Limited, Karen Diane McIlraith, Paul Andrew McIlraith, Alison Jeanette Smith, Paul David Tyson.



Rev#1	Description	Drawn	Date	Level 1, 93 Manchester St, Christchurch 8022 Ph. 03 377 3290 Level 1, Shed 19, Princess Wharf, Auckland 1010 Ph. 09 600 1099 www.inovo.nz	Scale A1 1:2000 Scale A3 1:4000 DO NOT SCALE FROM DRAWING	Drawn ZC Approved DR Date 23.04.2024	Client ROLLESTON WEST RESIDENTIAL LIMITED	Project ROLLESTON WEST DUNNS CROSSING ROAD	Drawing Title PROPOSED SUBDIVISION OF ROLLESTON WEST	Status FOR CONSENT	Drawing No. 15861-AP-100	Rev C
-------	-------------	-------	------	---	---	---	---	--	--	------------------------------	------------------------------------	----------