

Development proposal

Tauroa Street, Raumanga, Whanāgrei

Project Number:	7630-015
Date created:	22 February 2023
Created by:	Finn Potter
Local Council:	Whangārei District Council
Legal Description:	Lot 2 DP 352547
Total Area:	16.345ha



Tauroa Street Location

Bus Stops

Four bus stops are located
within 150m of Tauroa Street

State Highway 1

Less than 750 metres and 900
metres to Bunnings and
shopping centre.

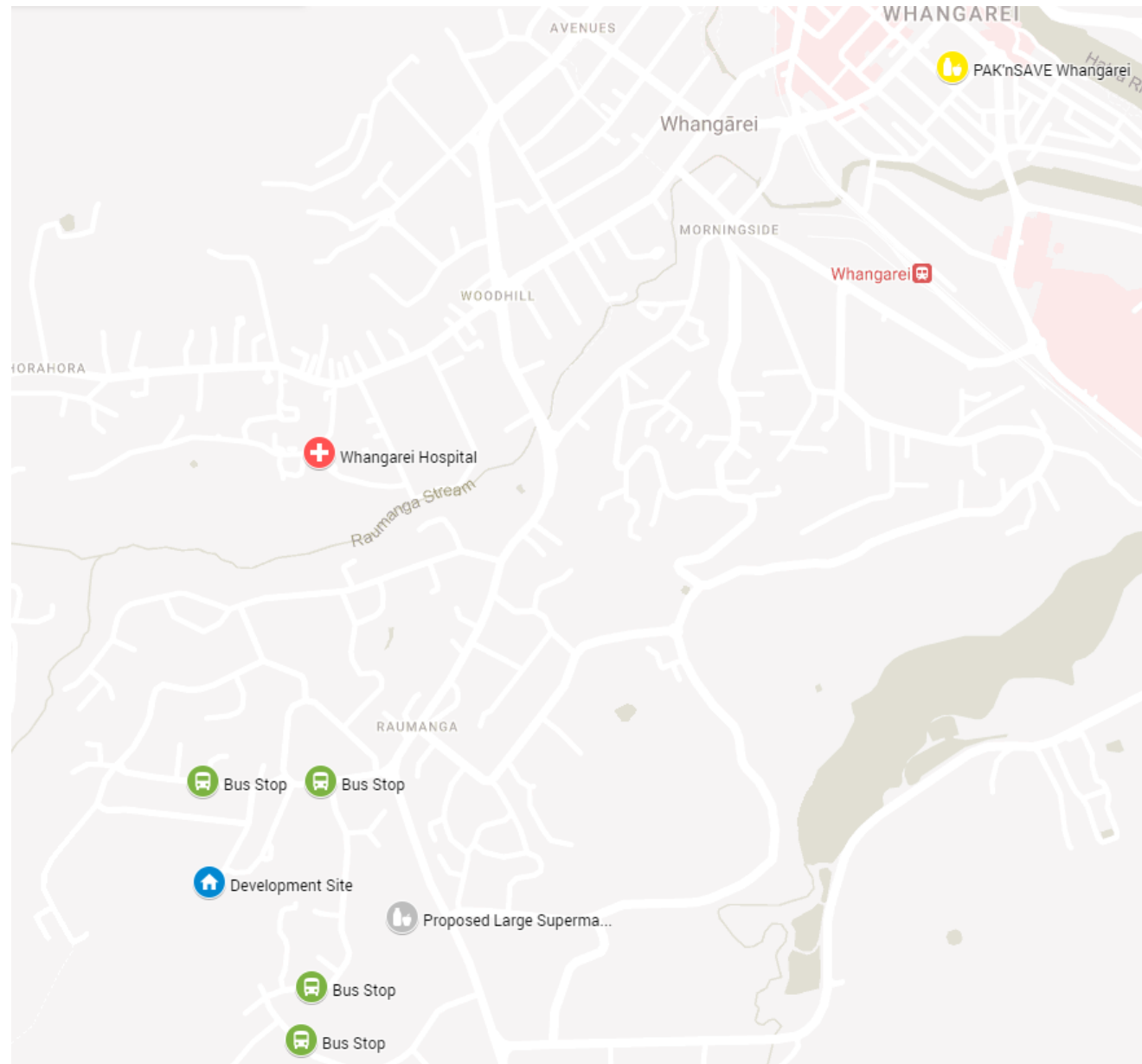
Hospital

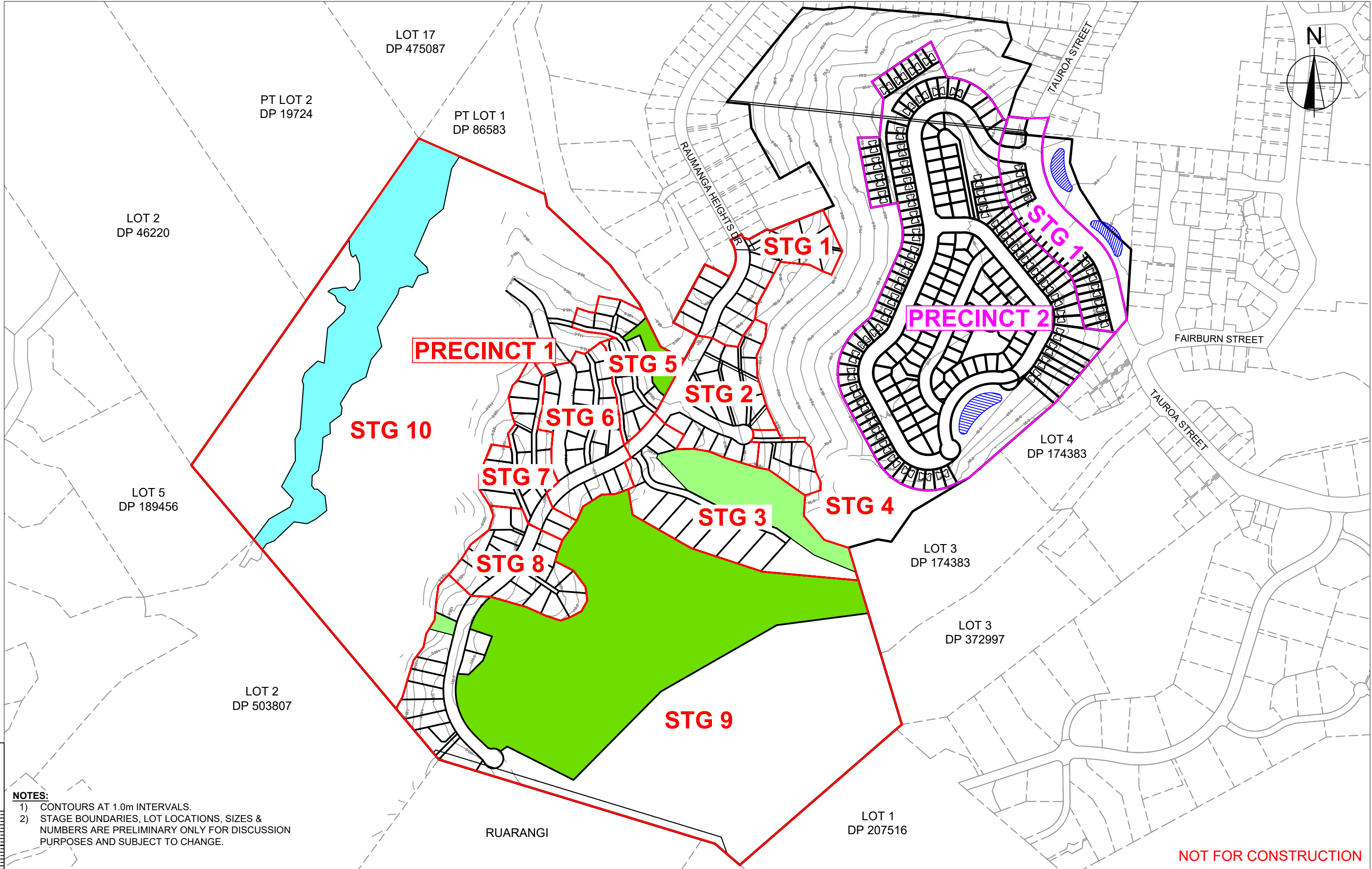
3km via road

Supermarkets

500 metres from Proposed
new supermarket off SH1

4 kilometres from the
existing PAK'nSAVE





NOTES:
1) CONTOURS AT 1.0m INTERVALS.
2) STAGE BOUNDARIES, LOT LOCATIONS, SIZES & NUMBERS ARE PRELIMINARY ONLY FOR DISCUSSION PURPOSES AND SUBJECT TO CHANGE.



C		
B		
A	1ST ISSUE	15-07-22 KH PC
REV.	REVISION DETAILS	DRAWN APP.

PROJECT DETAILS
PROPOSED SUBDIVISION OF LOT 1 DP 177316 & LOT 2 DP 352547 RAUMANGA HEIGHTS DRIVE WHANGAREI

TITLE
SCHEME PLAN

DATE CREATED 15-07-2022	DRAWN K HANSARD	DESIGNED F POTTER	APPROVED P COOK
CCL REF NO 13006	SCALE 1:5000 @ A3	STATUS FOR DISCUSSION	
DWG NUMBER	SCH03	REVISION A	

NOT FOR CONSTRUCTION



LEGEND	
	400-450m² LOTS. 1:4 SLOPE BOTTOM ENTRY TO SITE 11.5-12.5m WIDE SITES TYPE A & B TYPOLOGIES 4 BEDROOM DUPLEX SITES: 26 (52 DUPLEXES)
	400-450m² LOTS. 1:4 SLOPE TOP ENTRY TO SITE 11.5-12.5m WIDE SITES TYPE A & B TYPOLOGIES 4 BEDROOM DUPLEX SITES: 15 (30 DUPLEXES)
	400-450m² LOTS. 1:4 SLOPE BOTTOM ENTRY TO SITE 11.5-12.5m WIDE SITES TYPE C & D TYPOLOGIES 2 BEDROOM DUPLEXES SITES: 23 (46 DUPLEXES)
	400-450m² LOTS. FLAT TO 1:10 SLOPE 16mø CIRCLE. TYPE E & F TYPOLOGIES 1 BEDROOM & 2 BEDROOM DUPLEX VILLAGE 1 SITES 16 (32 DUPLEXES) VILLAGE 5 SITES 32 (64 DUPLEXES)
	NOTE: SMALLER 1 BEDROOM DUPLEX REQUIRED ON SOME SITES
	400-450m² LOTS. FLAT TO 1:10 SLOPE 16mø CIRCLE. TYPE E & E (mirrored) TYPOLOGIES 1 BEDROOM DUPLEXES VILLAGE 2 SITES: 9 (18 DUPLEXES)
	400-450m² LOTS. FLAT TO 1:10 SLOPE 16mø CIRCLE. TYPE E & G TYPOLOGIES 1 BEDROOM AND 3 BEDROOM DUPLEXES VILLAGE 3 SITES 18 (36 DUPLEXES) VILLAGE 4 SITES 15 (30 DUPLEXES)
	NOTE: SMALLER 1 BEDROOM DUPLEX REQUIRED ON SOME SITES
	500-650m² LOTS. 1:10 TO 1:40 SLOPE. 18mø CIRCLE. CUSTOM DESIGN SITES: 6
	SECURITY UNIT PROPOSED 6m x 6m
	BIKE SHEDS PROPOSED 6m x 6m
	RUBBISH BINS PROPOSED AREA 6m x 6m
TOTAL NUMBER OF LOTS: 160 (320 DUPLEXES)	

DRAFT



Whangarei | Auckland | Wellington | Christchurch

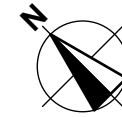
REVISION DETAILS		PROJECT DETAILS	
REV.	REVISION	DATE	APP.
C		15-11-22	
B	2ND ISSUE	SD	SD
A	1ST ISSUE	GM	GM

PROPOSED SUBDIVISION
FOR RAUMANGA TRUSTEE LIMITED
LOT2 DP 352547 & LOT 1 DP 177316

SCHEME PLAN
TAUROA STREET

08-03-2022

DATE CREATED	DRAWN	DESIGNED	APPROVED
08-03-2022	G M	-	G M
CCL REF NO	SCALE	STATUS	
13006-001	1:2500 @ A3	CONCEPT	
DWG NUMBER	SCH001		REVISION
			A



- DISCLAIMER**
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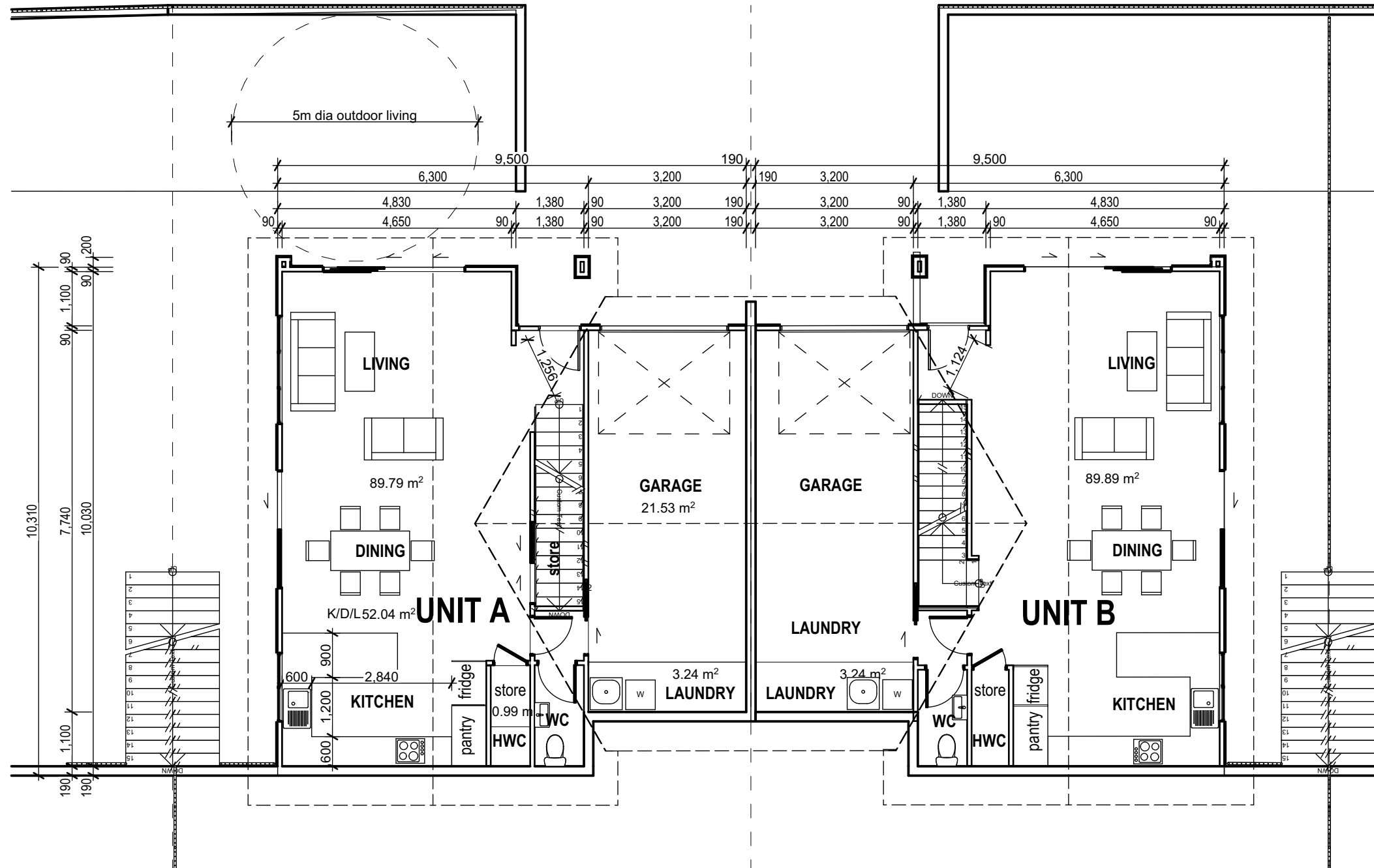
LEGEND - Thermal Performance Requirements to 2022 codes

Construction	NZBC Zone 1 (mins)	Construction element R values
Roof	R6.6	tbc
Walls	R2.0	tbc
Slab	R1.5	tbc
Windows	R0.37	tbc

HOMESTAR COMPLIANCE:

Note: For compliance of Homestar (version 5) the dwelling must be calculated using a energy and carbon calculator to establish minimum thermal requirements. The calculation provides an estimate of the space heating demand for the home assuming a heating temperature of 20°C 24/7.

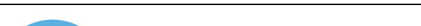
- Mandatory Minimums for 6 Homestar rating:
- HC1 - The main living area must have an adequately sized heating system.
 - HC3 - All doors between conditioned space and garage must be fully sealed.
 - HC3 - All combustion appliances must be room sealed.
 - HC4 - Windows must be thermally broken.
 - HC4 - All junctions between external walls, floors and roofs must be demonstrated to meet the minimum fRsi factors for the respective climate zone
 - HC4 -Ground vapour barrier must be installed to the ground below all suspended floors.
 - EF3: Maximum water consumption of 165 litres per person per day
 - EF4 - Maximum delivered electricity (kWh/m2/year) associated with operation energy (excluding appliances) based on the climate zone in which the home is located
 - EF4: Maximum 4 kg.CO2-e/m2 onsite greenhouse gas emissions associated with space heating, hot water and refrigerants
 - HC1: Maximum predicted demand for space heating (kWh/m2/year) based on the climate zone in which the home is located
 - HC2: The home must be demonstrated to not exceed 25°C for more than 7% of the year or show compliance with CIBSE TM29
 - HC3: Continuous extract ventilation meeting the requirements must be installed as a minimum



TPOLOGY A AND B GROUND FLOOR PLAN

1:100

TPOLOGY A AND B GROUND FLOOR AREA
4 Bedroom Units with single Garage: 90.0 m2

<div> www.coco.co.nz Whangarei Auckland Wellington Christchurch</div>	RevID	Transmittal Set Name	Date	PROJECT DETAILS DEVELOPMENT PROPOSAL FOR RAUMANGA TRUST WHANGAREI HEIGHTS	TITLE TYPOLOGY A AND B GROUND FLOOR PLAN	DRAWN:	CCL REF. No.	DATE ISSUED:
						SD	13006-004	16.11.22
						REVIEWED:	SCALE:	DWG No:
						SD	1:100@ A3	L02
						APPROVED:	STATUS	REV.
						FP	CONCEPT DESIGN	

DATE PLOTTED: 16/11/2022 FILE PATH: Z:\13000- 13499\13006 - Whangarei Heights Subdivision\13006-001 Raumanga Trust new client name\Architecture\02 - Concept Design _ RC\ArchCAD\13006

DO NOT REPRODUCE WITHOUT WRITTEN AUTHORITY

DISCLAIMER

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LEGEND - Thermal Performance Requirements to 2022 codes

Construction	NZBC Zone 1 (mins)	Construction element R values
Roof	R6.6	tbc
Walls	R2.0	tbc
Slab	R1.5	tbc
Windows	R0.37	tbc

HOMESTAR COMPLIANCE:

Note: For compliance of Homestar (version 5) the dwelling must be calculated using a energy and carbon calculator to establish minimum thermal requirements. The calculation provides an estimate of the space heating demand for the home assuming a heating temperature of 20°C 24/7.

Mandatory Minimums for 6 Homestar rating:

HC1 - The main living area must have an adequately sized heating system.

HC3 - All doors between conditioned space and garage must be fully sealed.

HC3 - All combustion appliances must be room sealed.

HC4 - Windows must be thermally broken.

HC4 - All junctions between external walls, floors and roofs must be demonstrated to meet the minimum fRsi factors for the respective climate zone

HC4 -Ground vapour barrier must be installed to the ground below all suspended floors.

EF3: Maximum water consumption of 165 litres per person per day

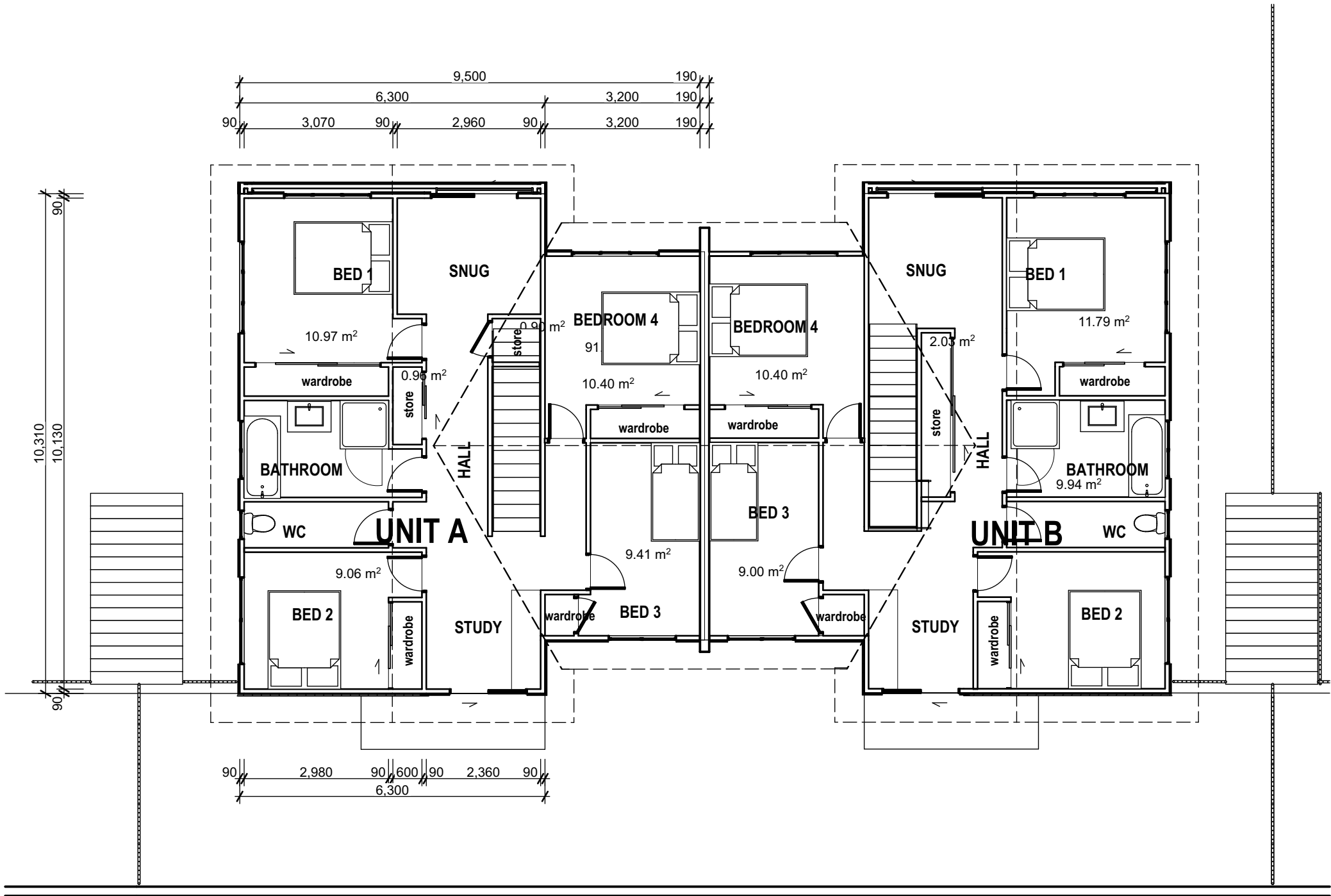
EF4 - Maximum delivered electricity (kWh/m2/year) associated with operation energy (excluding appliances) based on the climate zone in which the home is located

EF4: Maximum 4 kg.CO2-e/m2 onsite greenhouse gas emissions associated with space heating, hot water and refrigerants

HC1: Maximum predicted demand for space heating (kWh/m2/year) based on the climate zone in which the home is located

HC2: The home must be demonstrated to not exceed 25°C for more than 7% of the year or show compliance with CIBSE TM29

HC3: Continuous extract ventilation meeting the requirements must be installed as a minimum




FIRST FLOOR PLAN

1:100

TPOLOGY A AND B FIRST FLOOR AREA
4 Bedroom Units with single Garage: 92.0 m2

TOTAL FLOOR AREA: 182.0 m2

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						REVIEWED: SD	SCALE: 1:100@ A3	DWG No: L03
						APPROVED: FP	STATUS CONCEPT DESIGN	REV.




EAST PERSPECTIVE

DISCLAIMER

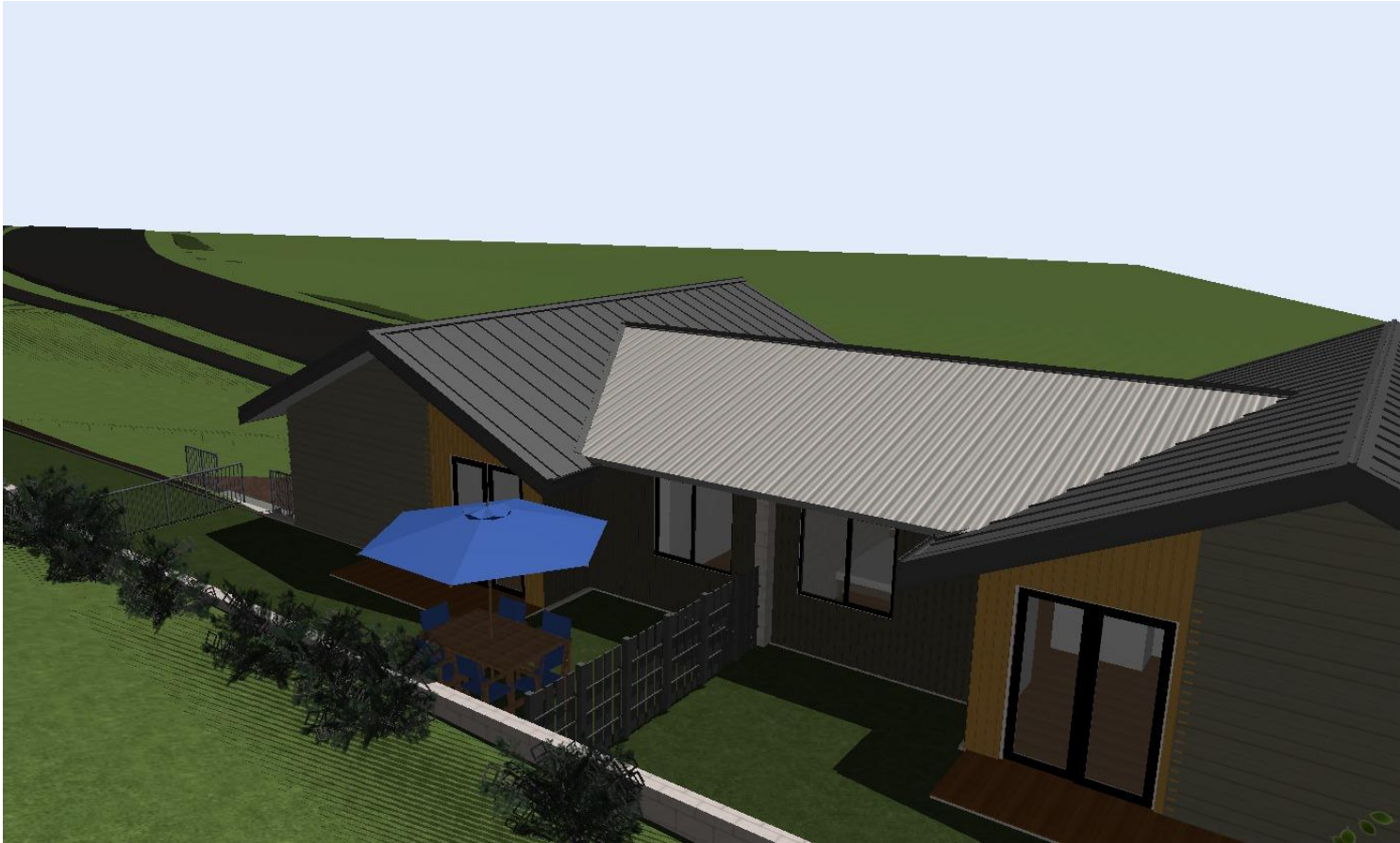
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NORTH/EAST PERSPECTIVE

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						SD	13006-004	16.11.22
						REVIEWED:	SCALE:	DWG No:
						SD	NOT TO SCALE	L04
						APPROVED:	STATUS	REV.
						FP	CONCEPT DESIGN	


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SOUTH PERSPECTIVE

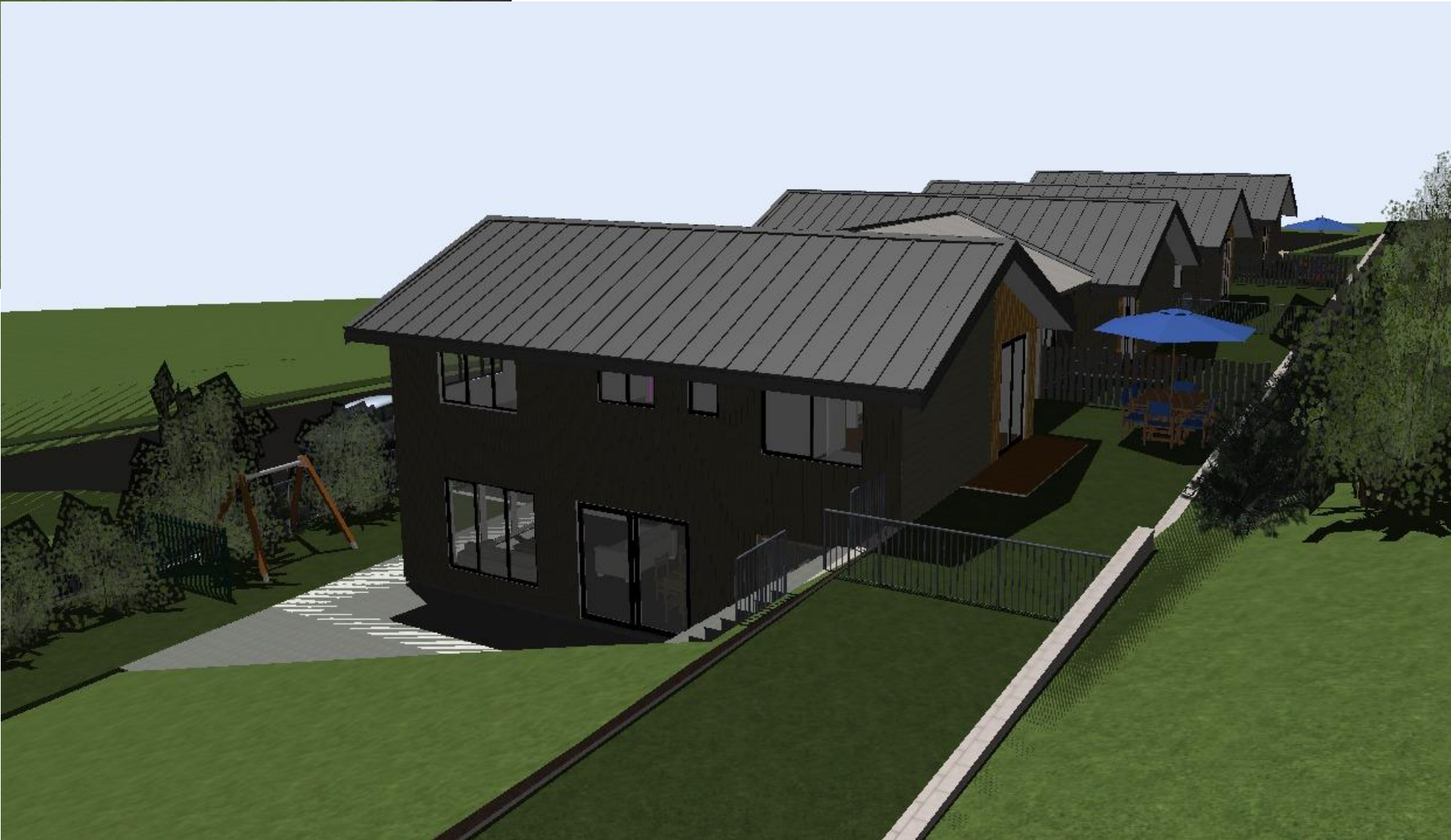


PLAN

<div> www.coco.co.nz Whangarei Auckland Wellington Christchurch</div>	RevID	Transmittal Set Name	Date	PROJECT DETAILS DEVELOPMENT PROPOSAL FOR RAUMANGA TRUST WHANGAREI HEIGHTS	TITLE TYPOLOGY A AND B PERSPECTIVES	DRAWN:	CCL REF. No.	DATE ISSUED:
						SD	13006-004	16.11.22
						REVIEWED:	SCALE:	DWG No:
						SD	NOT TO SCALE	L05
						APPROVED:	STATUS	REV.
						FP	CONCEPT DESIGN	




NORTH PERSPECTIVE

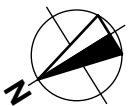


WEST PERSPECTIVE

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						SD	13006-004	16.11.22
						REVIEWED:	SCALE:	DWG No:
						SD	NOT TO SCALE	L06
						APPROVED:	STATUS	REV.
						FP	CONCEPT DESIGN	



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LEGEND - Thermal Performance Requirements to 2022 codes

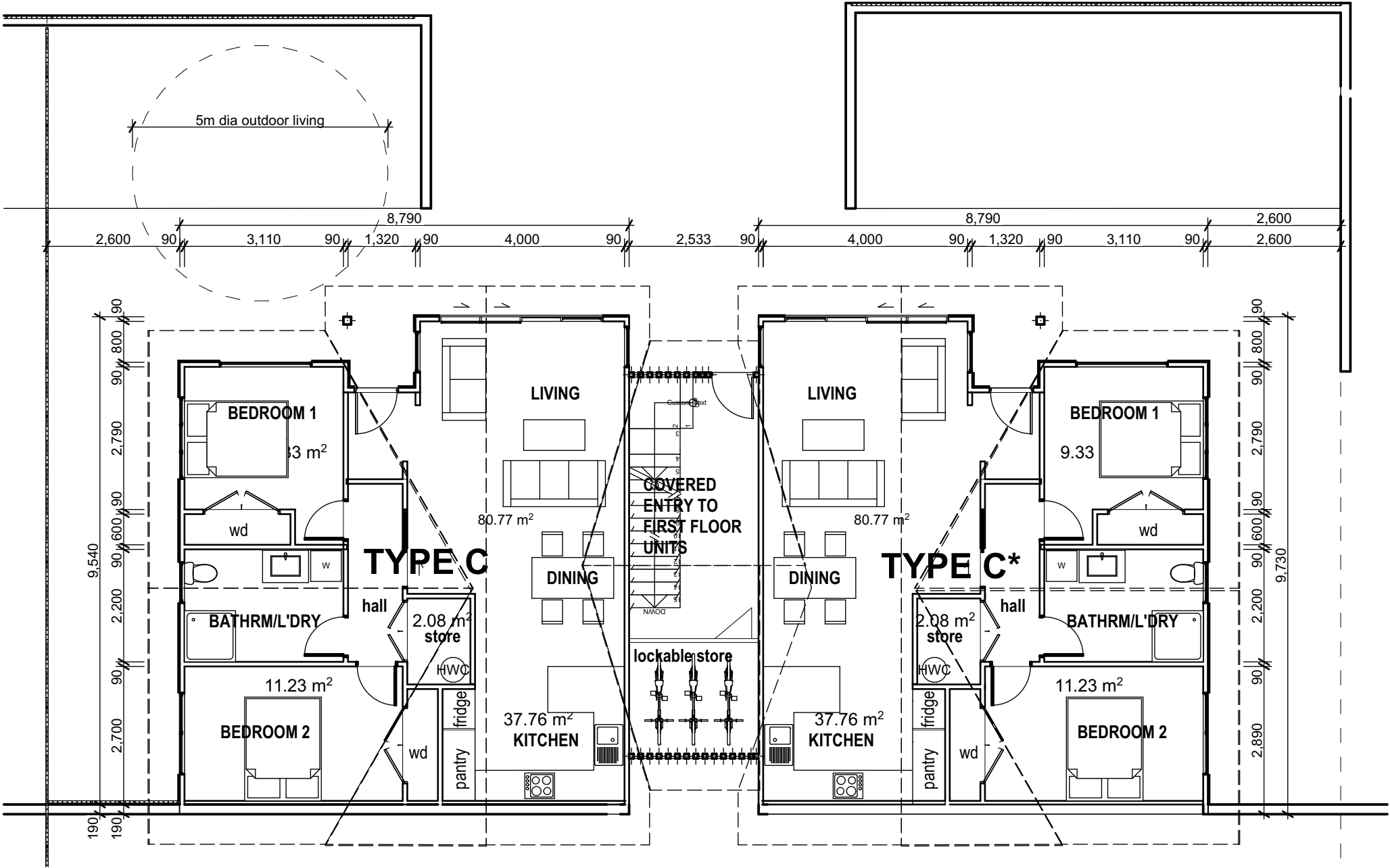
Construction	NZBC Zone 1 (mins)	Construction element R values
Roof	R6.6	tbc
Walls	R2.0	tbc
Slab	R1.5	tbc
Windows	R0.37	tbc

HOMESTAR COMPLIANCE:

Note: For compliance of Homestar (version 5) the dwelling must be calculated using a energy and carbon calculator to establish minimum thermal requirements. The calculation provides an estimate of the space heating demand for the home assuming a heating temperature of 20°C 24/7.


- Mandatory Minimums for 6 Homestar rating:
- HC1 - The main living area must have an adequately sized heating system.
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 - HC3 - All combustion appliances must be room sealed.
 - HC4 - Windows must be thermally broken.
 - HC4 - All junctions between external walls, floors and roofs must be demonstrated to meet the minimum fRsi factors for the respective climate zone
 - HC4 -Ground vapour barrier must be installed to the ground below all suspended floors.
 - EF3: Maximum water consumption of 165 litres per person per day
 - EF4 - Maximum delivered electricity (kWh/m2/year) associated with operation energy (excluding appliances) based on the climate zone in which the home is located
 - EF4: Maximum 4 kg.CO2-e/m2 onsite greenhouse gas emissions associated with space heating, hot water and refrigerants
 - HC1: Maximum predicted demand for space heating (kWh/m2/year) based on the climate zone in which the home is located
 - HC2: The home must be demonstrated to not exceed 25°C for more than 7% of the year or show compliance with CIBSE TM29
 - HC3: Continuous extract ventilation meeting the requirements must be installed as a minimum

LIFEMARK COMPLIANCE: The ground floor units are designed to be easily adapted to comply with lifemark/universal design.



GROUND FLOOR PLAN 1:100

TYPOLOGY C and C mirrored GROUND FLOOR AREA
2 BEDROOM UNITS: each 80.8 m2
*** indicates mirrored**

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						SD	13006-004	16/11/2022
						REVIEWED:	SCALE:	DWG No:
						SD	1:100@ A3	L07
						APPROVED:	STATUS	REV.
						FP	CONCEPT DESIGN	



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LEGEND - Thermal Performance Requirements to 2022 codes		
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Walls	R2.0	tbc
Slab	R1.5	tbc
Windows	R0.37	tbc

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HC4 - Windows must be thermally broken.

HC4 - All junctions between external walls, floors and roofs must be demonstrated to meet the minimum fRsi factors for the respective climate zone

HC4 -Ground vapour barrier must be installed to the ground below all suspended floors.

EF3: Maximum water consumption of 165 litres per person per day

EF4 - Maximum delivered electricity (kWh/m2/year) associated with operation energy (excluding appliances) based on the climate zone in which the home is located

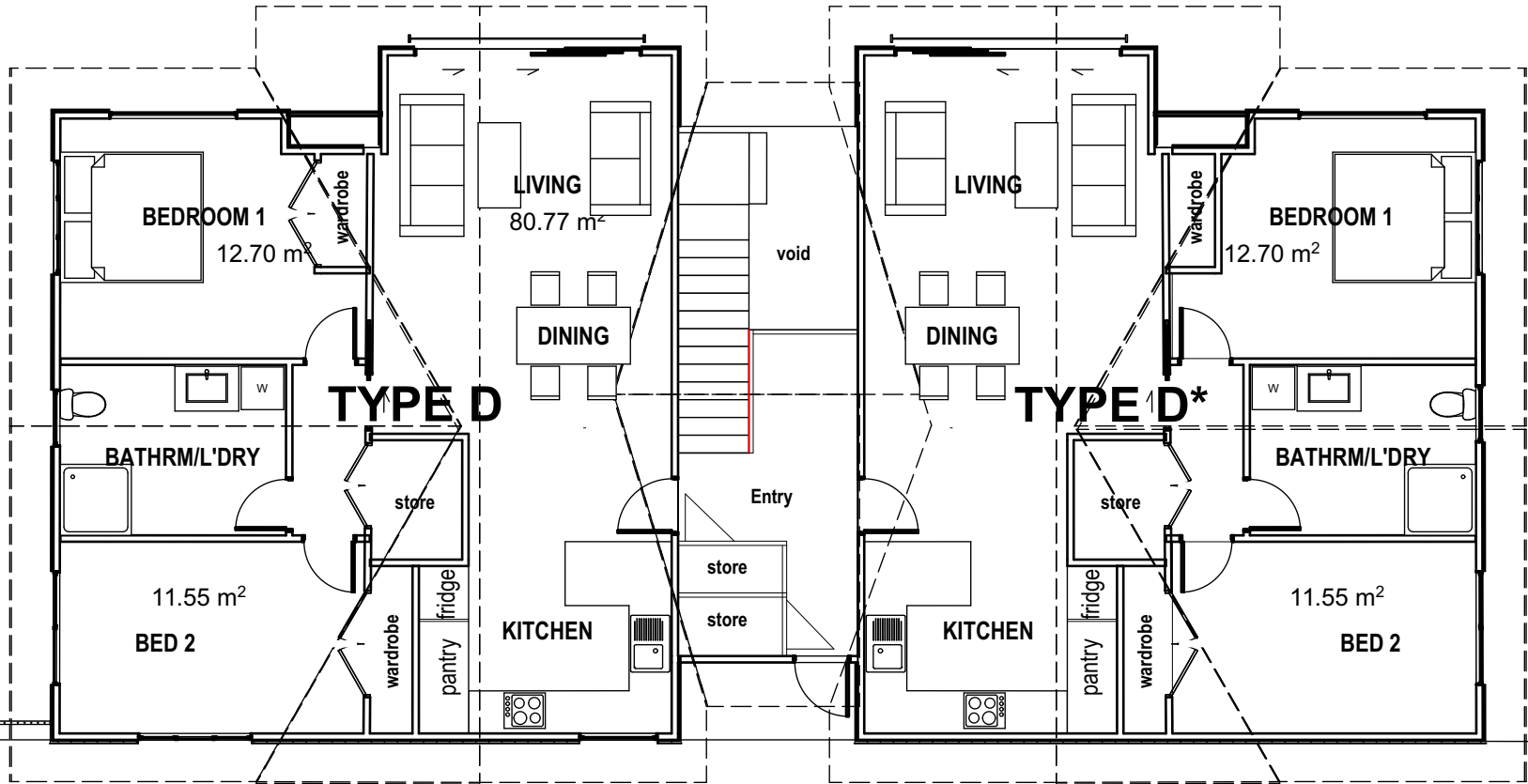
EF4: Maximum 4 kg.CO2-e/m2 onsite greenhouse gas emissions associated with space heating, hot water and refrigerants

HC1: Maximum predicted demand for space heating (kWh/m2/year) based on the climate zone in which the home is located

HC2: The home must be demonstrated to not exceed 25°C for more than 7% of the year or show compliance with CIBSE TM29

HC3: Continuous extract ventilation meeting the requirements must be installed as a minimum

LIFEMARK COMPLIANCE: The ground floor units are designed to be easily adapted to comply wiht lifemark/universal design.




SECOND FLOOR PLAN

1:100

TYPOLOGY D and D mirrored GROUND FLOOR AREA

2 BEDROOM UNITS: each 80.8 m2


* indicates mirrored

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						REVIEWED: SD	SCALE: 1:100@ A3	DWG No: L08
						APPROVED: FP	STATUS CONCEPT DESIGN	REV.

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4 x 2 BED UNIT PERSPECTIVE

<div> www.coco.co.nz Whangarei Auckland Wellington Christchurch</div>	RevID	Transmittal Set Name	Date	PROJECT DETAILS DEVELOPMENT PROPOSAL FOR RAUMANGA TRUST WHANGAREI HEIGHTS	TITLE TYPOLOGIES C AND D PERSPECTIVES	DRAWN:	CCL REF. No.	DATE ISSUED:
						SD	13006-004	16/11/2022
						REVIEWED:	SCALE:	DWG No:
						SD	NOT TO SCALE	L09
						APPROVED:	STATUS	REV.
						FP	CONCEPT DESIGN	

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LEGEND - Thermal Performance Requirements to 2022 codes

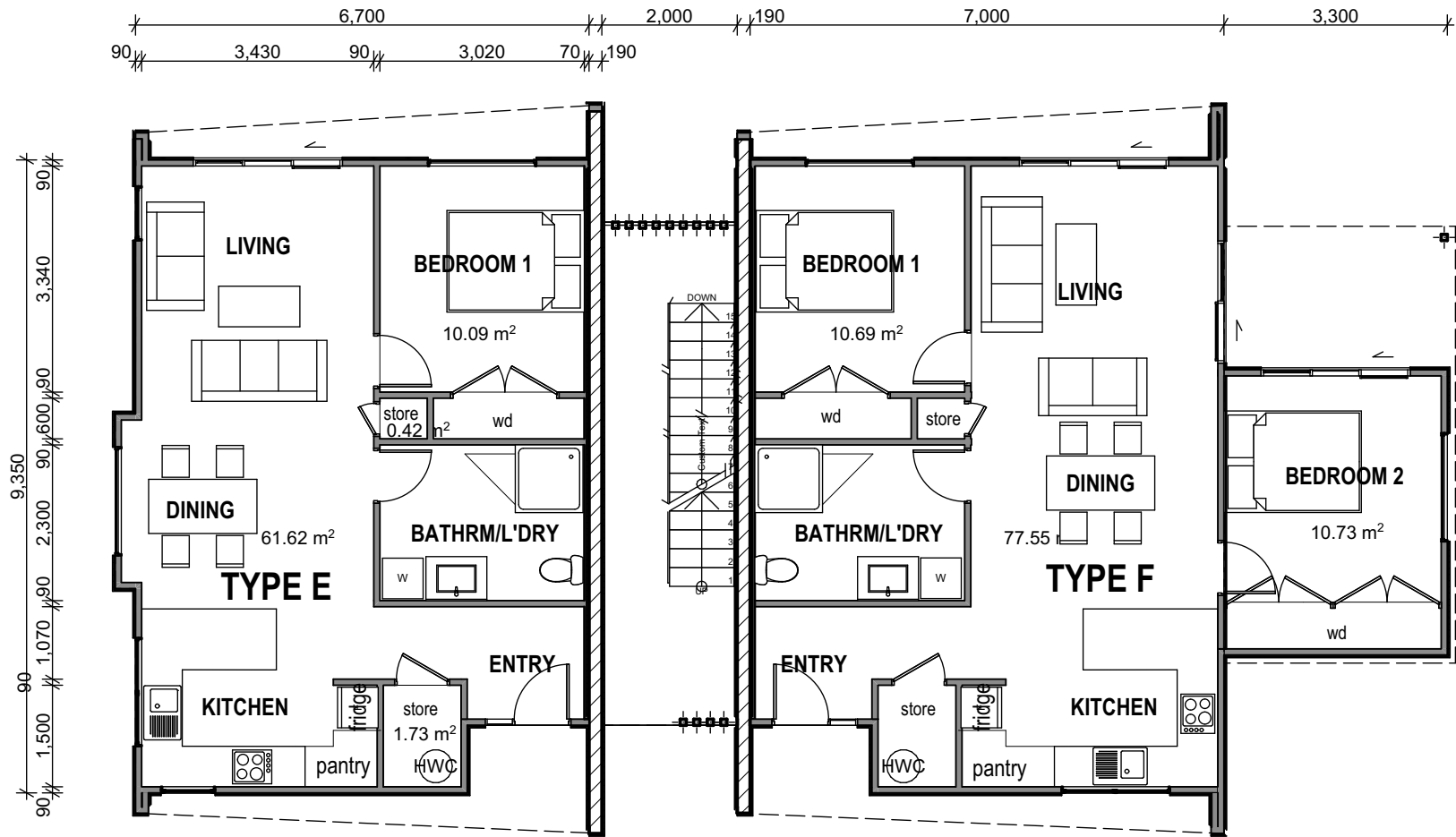
Construction	NZBC Zone 1 (mins)	Construction element R values
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Walls	R2.0	tbc
Slab	R1.5	tbc
Windows	R0.37	tbc

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HC1: Maximum predicted demand for space heating (kWh/m2/year) based on the climate zone in which the home is located
HC2: The home must be demonstrated to not exceed 25°C for more than 7% of the year or show compliance with CIBSE TM29
HC3: Continuous extract ventilation meeting the requirements must be installed as a minimum


LIFEMARK COMPLIANCE: These units are designed to be easily adapted to comply with lifemark/universal design.



GROUND FLOOR 1:100

TPOLOGY E GROUND FLOOR AREA
1 Bedroom Unit: 61.6 m²

TPOLOGY F GROUND FLOOR AREA
2 Bedroom Unit: 77.6m²

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								SD	13006-004	11.10.2022
								REVIEWED:	SCALE:	DWG No:
								SD	1:100@ A3	L10
								APPROVED:	STATUS	REV.
								CONCEPT DESIGN		

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LEGEND - Thermal Performance Requirements to 2022 codes

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Walls	R2.0	tbc
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Windows	R0.37	tbc

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HC4 - Windows must be thermally broken.

HC4 - All junctions between external walls, floors and roofs must be demonstrated to meet the minimum fRsi factors for the respective climate zone

HC4 -Ground vapour barrier must be installed to the ground below all suspended floors.

EF3: Maximum water consumption of 165 litres per person per day

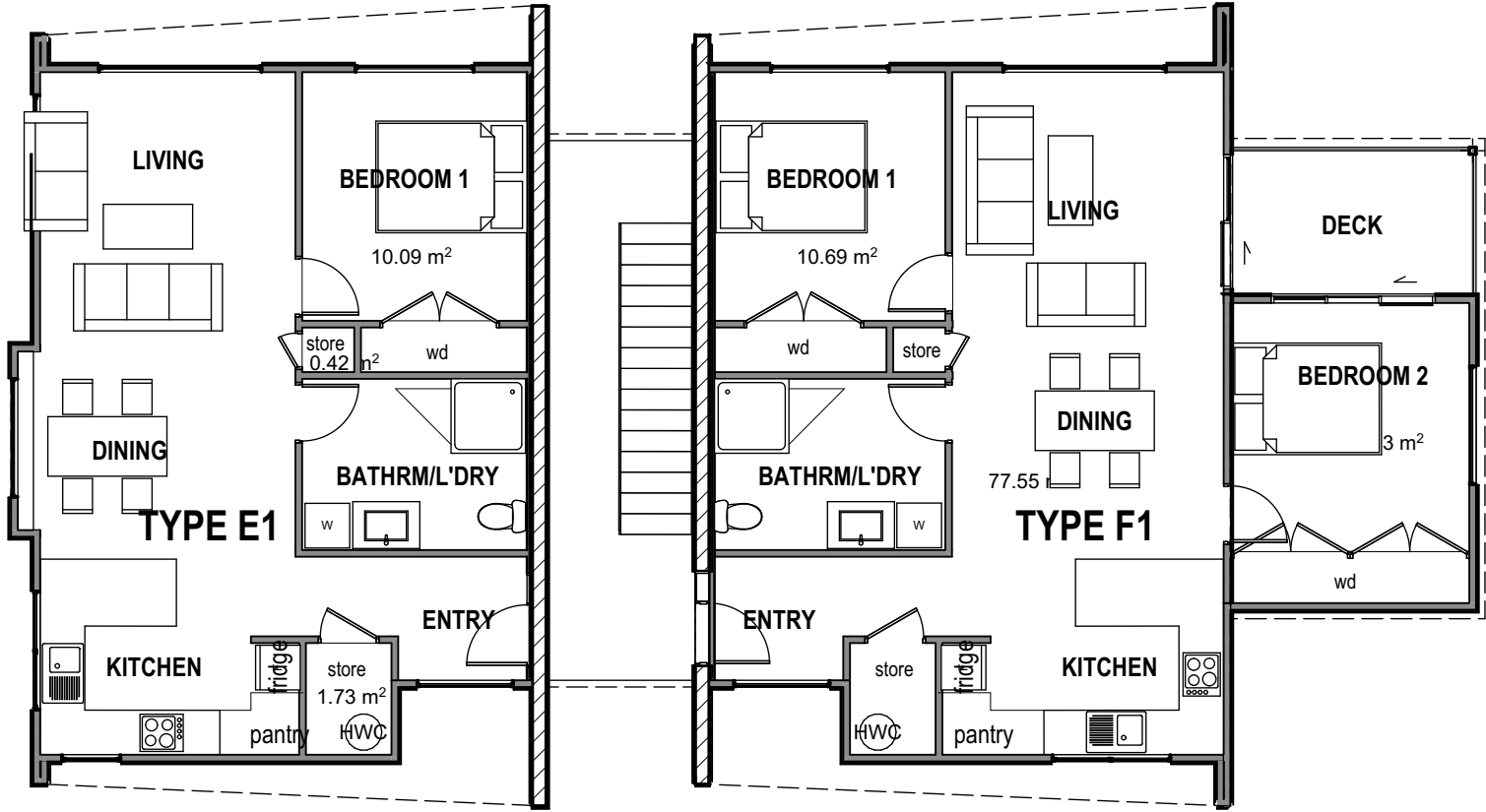
EF4 - Maximum delivered electricity (kWh/m2/year) associated with operation energy (excluding appliances) based on the climate zone in which the home is located

EF4: Maximum 4 kg.CO2-e/m2 onsite greenhouse gas emissions associated with space heating, hot water and refrigerants

HC1: Maximum predicted demand for space heating (kWh/m2/year) based on the climate zone in which the home is located

HC2: The home must be demonstrated to not exceed 25°C for more than 7% of the year or show compliance with CIBSE TM29

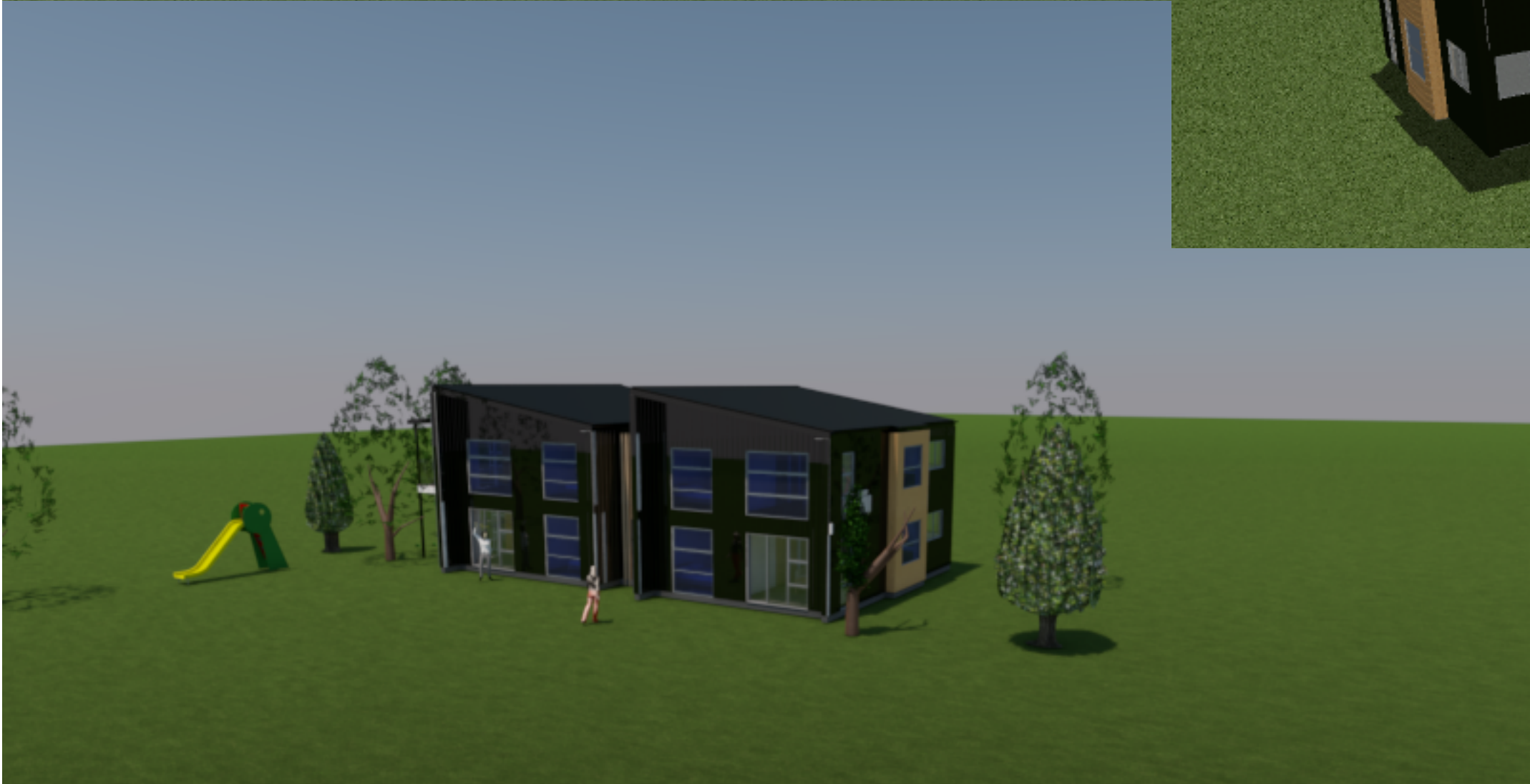
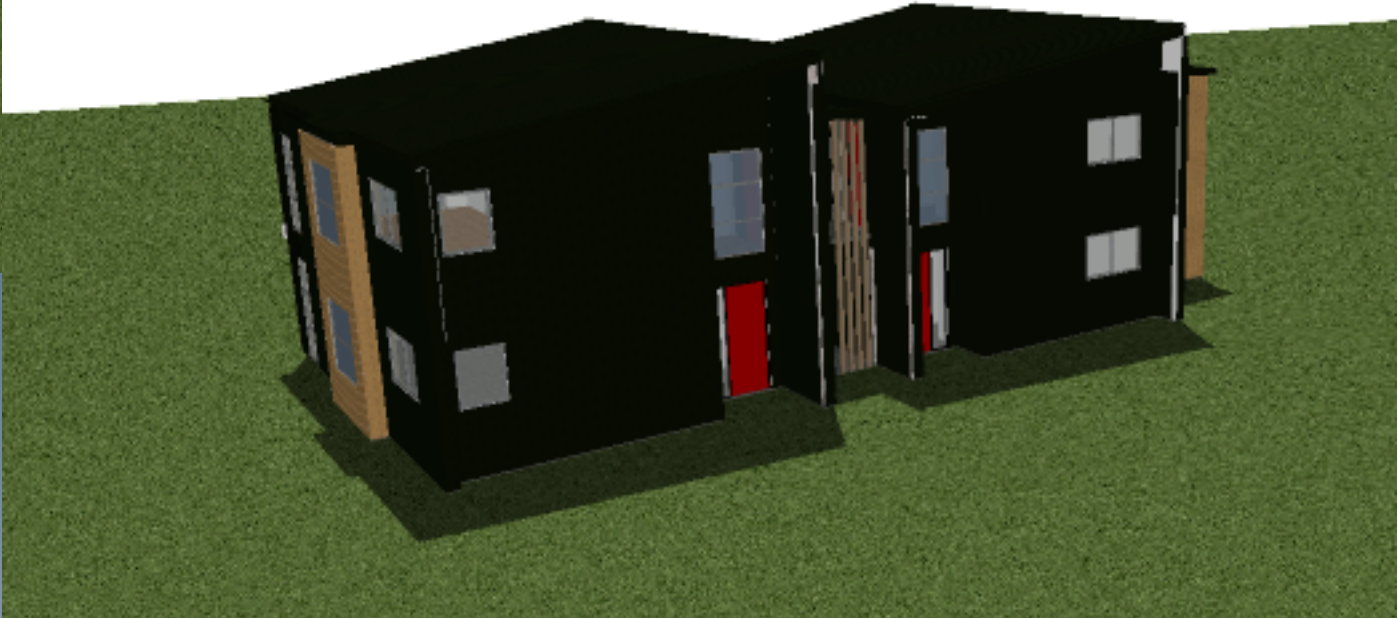
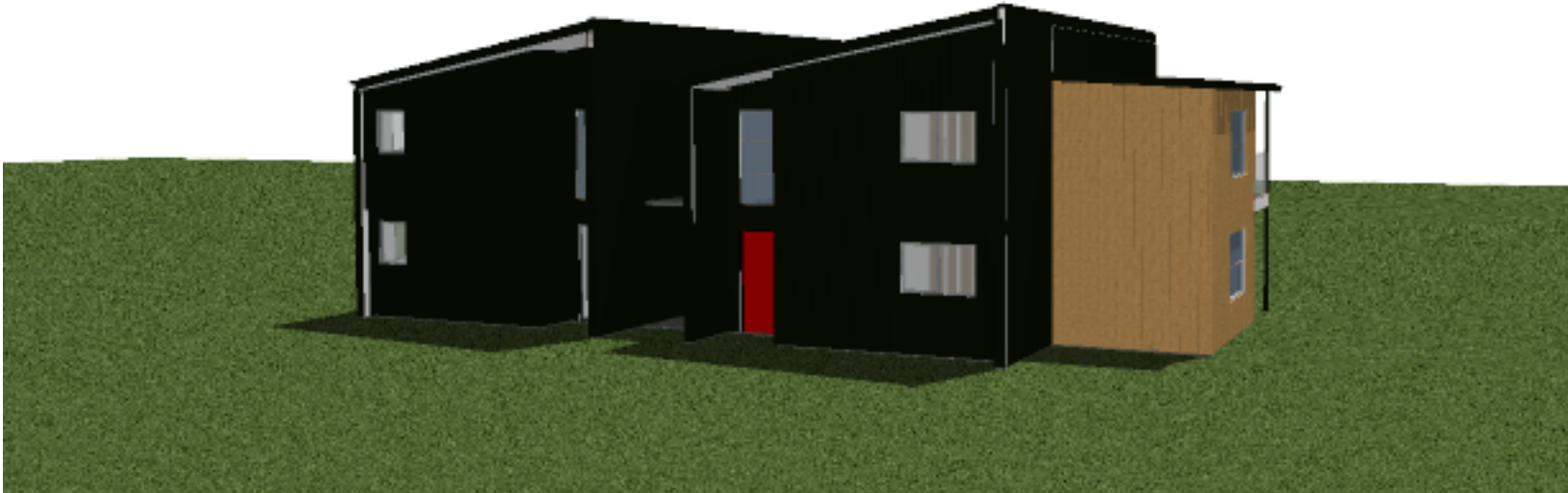
HC3: Continuous extract ventilation meeting the requirements must be installed as a minimum



FIRST FLOOR 1:100

TYPOLOGY E1 FIRST FLOOR AREA
1 Bedroom Unit: 61.6m²
(Design similar to Typology E with expectation of Entry)

TYPOLOGY F2 FIRST FLOOR AREA
2 Bedroom Unit: 77.6m²
(Design similar to Typology F with expectation of Entry)



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 4. The Contractor shall check and verify all dimensions on site. Any discrepancy shall be referred to Architectural Office of Cook Costello.
 5. These drawings and design are copyright and remain the property of Cook Costello.

LEGEND - Thermal Performance Requirements to 2022 codes

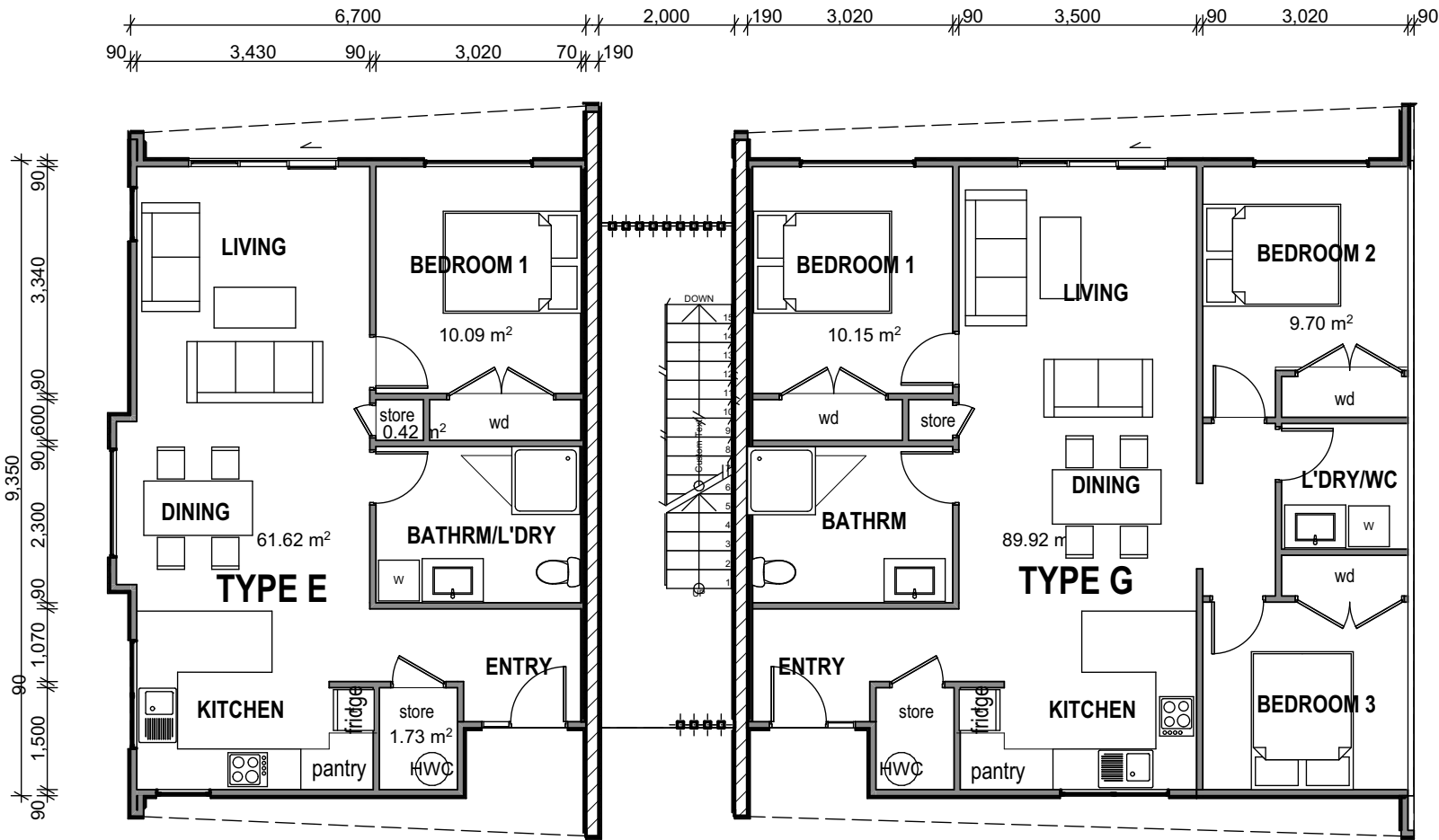
Construction	NZBC Zone 1 (mins)	Construction element R values
Roof	R6.6	tbc
Walls	R2.0	tbc
Slab	R1.5	tbc
Windows	R0.37	tbc

HOMESTAR COMPLIANCE:

Note: For compliance of Homestar (version 5) the dwelling must be calculated using a energy and carbon calculator to establish minimum thermal requirements. The calculation provides an estimate of the space heating demand for the home assuming a heating temperature of 20°C 24/7.

- Mandatory Minimums for 6 Homestar rating:
- HC1 - The main living area must have an adequately sized heating system.
 - HC3 - All doors between conditioned space and garage must be fully sealed.
 - HC3 - All combustion appliances must be room sealed.
 - HC4 - Windows must be thermally broken.
 - HC4 - All junctions between external walls, floors and roofs must be demonstrated to meet the minimum fRsi factors for the respective climate zone
 - HC4 -Ground vapour barrier must be installed to the ground below all suspended floors.
 - EF3: Maximum water consumption of 165 litres per person per day
 - EF4 - Maximum delivered electricity (kWh/m2/year) associated with operation energy (excluding appliances) based on the climate zone in which the home is located
 - EF4: Maximum 4 kg.CO2-e/m2 onsite greenhouse gas emissions associated with space heating, hot water and refrigerants
 - HC1: Maximum predicted demand for space heating (kWh/m2/year) based on the climate zone in which the home is located
 - HC2: The home must be demonstrated to not exceed 25°C for more than 7% of the year or show compliance with CIBSE TM29
 - HC3: Continuous extract ventilation meeting the requirements must be installed as a minimum


LIFEMARK COMPLIANCE: These units are designed to be easily adapted to comply with lifemark/universal design.



GROUND FLOOR 1:100

TYPOLOGY E GROUND FLOOR AREA
1 Bedroom Unit: 61.6 m²

TYPOLOGY G GROUND FLOOR AREA
3 Bedroom Unit: 90.0m²

 www.coco.co.nz Whangarei Auckland Wellington Christchurch	RevID	Transmittal Set Name	Date	PROJECT DETAILS DEVELOPMENT PROPOSAL FOR RAUMANGA TRUST WHANGAREI HEIGHTS	TITLE TYPOLOGY E AND G GROUND FLOOR PLAN	DRAWN: SD	CCL REF. No. 13006-004	DATE ISSUED: 16.11.2022
						REVIEWED: SD	SCALE: 1:100, 1:50@ A3	DWG No: L13
						APPROVED: FP	STATUS CONCEPT DESIGN	REV.

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- DISCLAIMER**
1. Written dimensions take precedence.
 2. These drawings shall be read in conjunction with relevant consultants, drawings and specifications.
 3. Construction practice shall be in accordance with NZS 3604 and the NZ Building Code.
 4. The Contractor shall check and verify all dimensions on site. Any discrepancy shall be referred to Architectural Office of Cook Costello.
 5. These drawings and design are copyright and remain the property of Cook Costello.

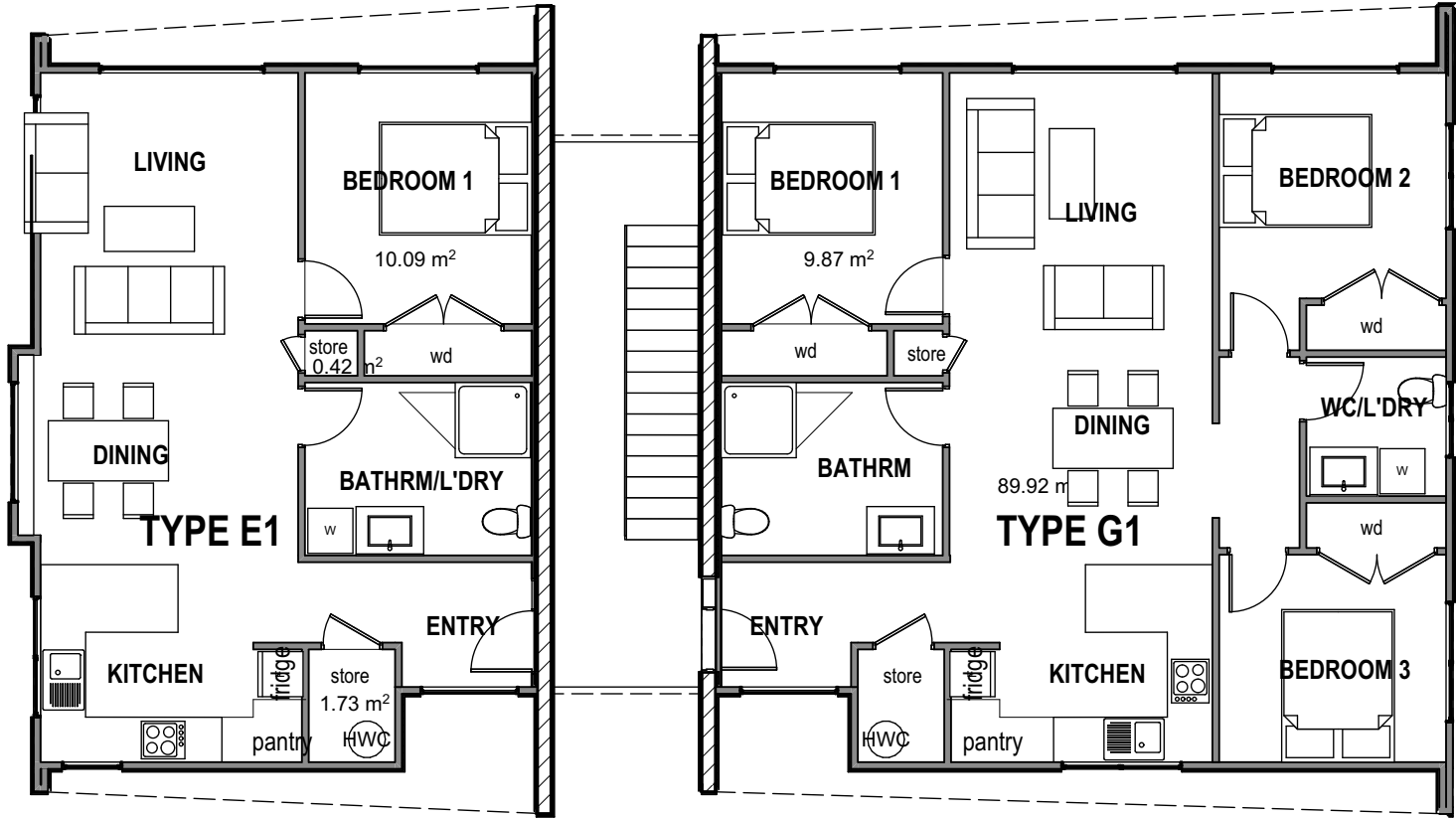
LEGEND - Thermal Performance Requirements to 2022 codes

Construction	NZBC Zone 1 (mins)	Construction element R values
Roof	R6.6	tbc
Walls	R2.0	tbc
Slab	R1.5	tbc
Windows	R0.37	tbc

HOMESTAR COMPLIANCE:

Note: For compliance of Homestar (version 5) the dwelling must be calculated using a energy and carbon calculator to establish minimum thermal requirements. The calculation provides an estimate of the space heating demand for the home assuming a heating temperature of 20°C 24/7.


Mandatory Minimums for 6 Homestar rating:
HC1 - The main living area must have an adequately sized heating system.
HC3 - All doors between conditioned space and garage must be fully sealed.
HC3 - All combustion appliances must be room sealed.
HC4 - Windows must be thermally broken.
HC4 - All junctions between external walls, floors and roofs must be demonstrated to meet the minimum fRsi factors for the respective climate zone
HC4 -Ground vapour barrier must be installed to the ground below all suspended floors.
EF3: Maximum water consumption of 165 litres per person per day
EF4 - Maximum delivered electricity (kWh/m2/year) associated with operation energy (excluding appliances) based on the climate zone in which the home is located
EF4: Maximum 4 kg.CO2-e/m2 onsite greenhouse gas emissions associated with space heating, hot water and refrigerants
HC1: Maximum predicted demand for space heating (kWh/m2/year) based on the climate zone in which the home is located
HC2: The home must be demonstrated to not exceed 25°C for more than 7% of the year or show compliance with CIBSE TM29
HC3: Continuous extract ventilation meeting the requirements must be installed as a minimum



FIRST FLOOR 1:100

TYPOLOGY E1 FIRST FLOOR AREA
1 Bedroom Unit: 61.6m²
(Design similar to Typology E with exception of Entry)

TYPOLOGY G1 FIRST FLOOR AREA
3 Bedroom Unit: 90.0m²
(Design similar to Typology G with exception of Entry)

<div><div><div>cook costello</div><div>www.coco.co.nz</div><div>Whangarei Auckland Wellington Christchurch</div></div></div>	RevID	Transmittal Set Name	Date	PROJECT DETAILS	DEVELOPMENT PROPOSAL FOR RAUMANGA TRUST WHANGAREI HEIGHTS	TITLE	TYPOLOGY E1 AND G1 FIRST FLOOR PLAN	DRAWN:	CCL REF. No.	DATE ISSUED:
								SD	13006-004	16.11.2022
								REVIEWED:	SCALE:	DWG No:
								SD	1:100@ A3	L14
								APPROVED:	STATUS	REV.
							FP	CONCEPT DESIGN		



1 Generic Perspective 1:50