



MfE FAST TRACK RESPONSE / THE NORTH SHORE PROJECT

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THE NORTH SHORE PROJECT

6-10 THE STRAND | 21 HURSTMERE ROAD | 31 HURSTMERE ROAD | 33-45 HURSTMERE ROAD

KEY URBAN DESIGN ISSUES

- ISSUE ONE Creating through-site linkage and developing the easements on site
- ISSUE TWO Ground floor retail activation and street / park scape treatment
- ISSUE THREE Relationship with adjacent buildings and public space

DESIGN STATEMENT

DESIGN BRIEF

The vision for The North Shore Project is to redevelop the sites at 6-10 The Strand, 21 Hurstmere Road and 31 Hurstmere Road, Takapuna (noted herein as the "subject site"). The development will create a revitalised retail and residential living quarter which connects the adjoining properties across the subject site. The mixed-use development is to contain premium and serviced apartments, penthouse apartments, street front and ground level retail and hospitality offerings, associated vehicle parking and services, and public realm development.

The client has provided a brief to deliver a project that will make people want to visit, live, relax, work and shop in a series of new buildings, each having their own character but linked by an improved and safe public realm. The objective is to develop the site with a high quality mixed-use residential development containing premium and serviced apartments, penthouse apartments, street front and ground level retail and hospitality offerings, associated vehicle parking and services, and public realm development that will contribute to the development of Takapuna's urban centre, and complement the beachside environment.



AUCKLAND UNITARY PLAN PROVISIONS

District Plan

Auckland Unitary Plan — Operative in Part
(updated 12 June 2020)

Modification

Plan Changes, Plan Change 29 – Notable Trees, Notable Trees Overlay,
Proposed 15/08/2019

Zoning

Business — Metropolitan Centre Zone

Precinct

Takapuna 1 Sub-precinct A

Overlays

Natural Heritage: Notable Trees Overlay – 1398, Norfolk Island Pine

Controls

Building Frontage Control — Key Retail Frontage, Building Frontage Control —
General Commercial Frontage, Macroinvertebrate Community Index — Urban

Designations

Designations: Airspace Restriction Designations — ID 4311, Defence purposes
— protection of approach and departure paths (Whenuapai Air Base), Minister
of Defence



PLANNING MAP / AUCKLAND UNITARY PLAN



DESCRIPTION OF THE PROPOSAL

SITE AND BUILDING

The subject site is proposed to be redeveloped into a cluster of buildings, arranged around a generous public realm upgrade at the podium level. The articulation of the built form responds to Takapuna's character in both its urban and coastal context.

The proposed activities for the subject site are approximately 300 apartments in a mix of studio (serviced apartments), one bedroom, two bedroom, two bedroom + study, three bedroom, and three bedroom + study configurations. A pool and/or gym facility, private courtyard gardens, and associated basement vehicle parking and storage is included for residents.

An activated retail frontage and atrium link will provide activity at ground level along Hurstmere Road and connect east to west through to The Strand, and onwards to Takapuna Beach. Activity along the street frontages of Hurstmere Road, The Strand, Channel View Road and the atrium link will be a mix of retail and hospitality offerings, with associated basement vehicle parking.

HURSTMERE ROAD BUILDING

Consisting of approximately 100 serviced apartments, 58 apartments, and two penthouse apartments, the Hurstmere Road building is designed with efficiency around two circulation cores placed around a glazed atrium. Along with the north-facing façade, the atrium of the building allows an abundant amount of natural light to infiltrate the accommodation.

The building is sandwiched along the retail promenade of Hurstmere Road and responds to the active frontage with a double-height space within which the atrium activates and connects the urban centre to the beach. A strong podium grounds the building at street level, while a lighter and sculptural upper level creates activity and interest against the sky. The basement car park is accessed utilising the existing Right of Way Easement from The Strand and will service both resident parking, and public parking for the whole development as well as the building at 33-45 Hurstmere Road.

The building responds to the finer urban grain, materiality and typology of Takapuna's retail precinct and retains a certain grit and character lifted from existing buildings whilst contributing to the transformation of Hurstmere Road and a reinvigorated Takapuna.

CHANNEL VIEW ROAD BUILDING

The Channel View Road building contains approximately 130 premium apartments and seven penthouse apartments in a cluster of four separate buildings, with a mix of courtyards and pedestrian access ways connecting the blocks together. The form and varied roofscape breaks the mass and provides a sense of depth to the façade, while allowing natural light and ventilation to all dwellings. The apartment entry points on Channel View Road provide clear and well-defined entrances to the building. There are separate entry points off the courtyards for the other three buildings. Access to all apartments and associated facilities are from six circulation cores that also provide access to the basement carparks. The private courtyard gardens can be accessed by all residents at ground level.

The building responds to its proximity to the beachfront by using materials appropriate for a coastal location — natural, durable, and efficient.

PUBLIC REALM CONTRIBUTION

The design of the project is designed to respect the underlying principles of the Auckland Unitary Plan and the context of the site as it is today, and potentially in the future. The building respects and develops the existing Light and Air, Vehicle, and Pedestrian Easements. The project includes a series of well-designed public spaces around and throughout the development that carefully consider the impact of wind, sight and shelter and safety. The landscape treatment creates a welcome approach to the residential units and provides a vital north to south and east to west pedestrian connection with careful consideration of vehicle access points.

The proposed public realm design provides an extension to Hurstmere Green to the east, and a more pedestrian friendly connection from The Strand via the north south link, both activated by spill out spaces adjacent to food and beverage outlets. The atrium link connecting Hurstmere Road to The Strand and Channel View Road and on to Gould Reserve and Takapuna Beach — shapes a public space that is activated by retail and hospitality at the edges.

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NEIGHBOURHOOD CONTEXT

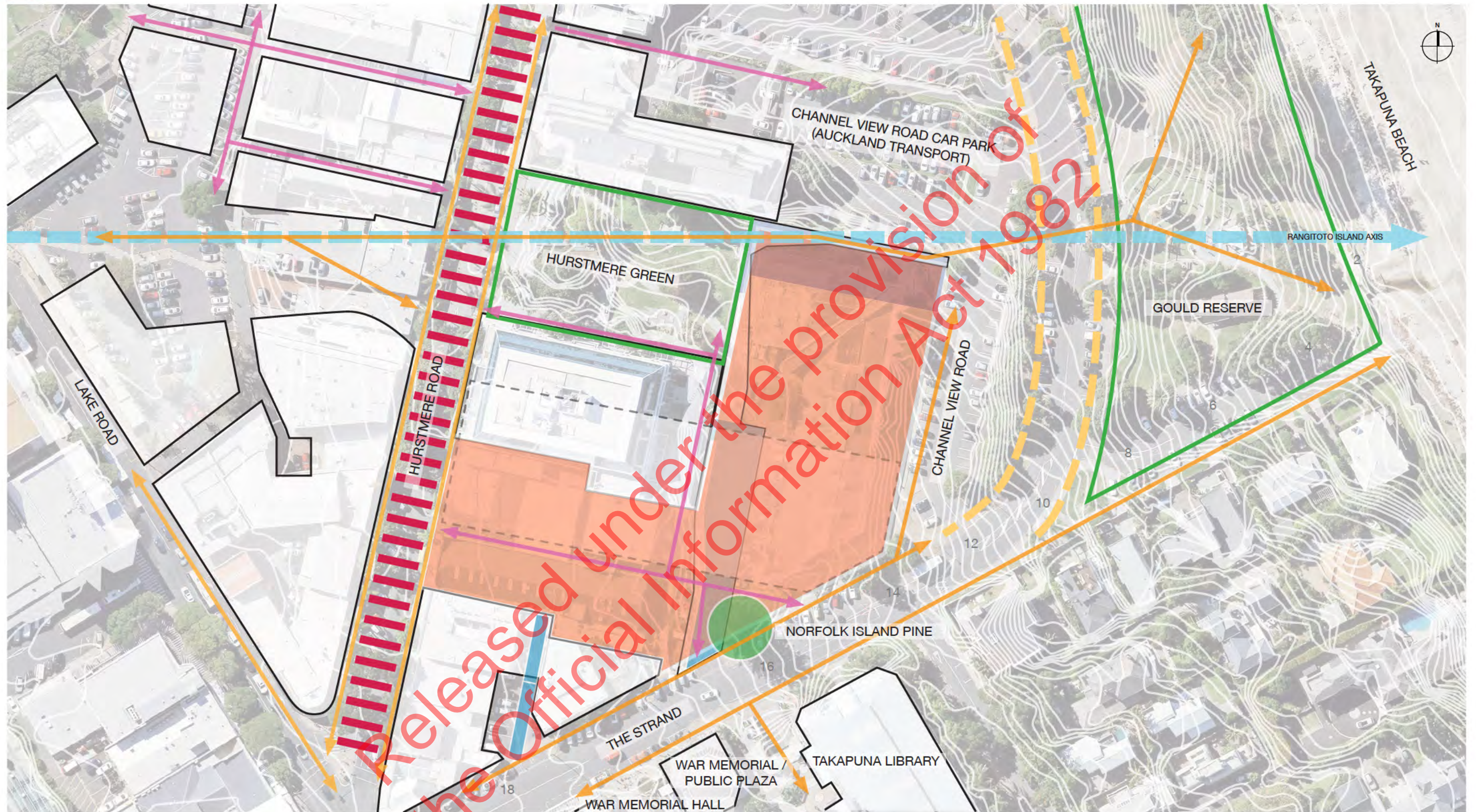


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KEY

- | | | | |
|---|-------------------------------|---|--------------------------|
|  | PROPOSED SITE |  | NATURAL SITES |
|  | PANUKU DEVELOPMENT SITE |  | KEY COMMUNITY SITES |
|  | KEY COMMERCIAL STREETS |  | SHARED PEDESTRIAN ROAD |
|  | SIGHTLINE TO RANGITOTO ISLAND |  | 400 RADIUS FROM THE SITE |

SITE CONTEXT



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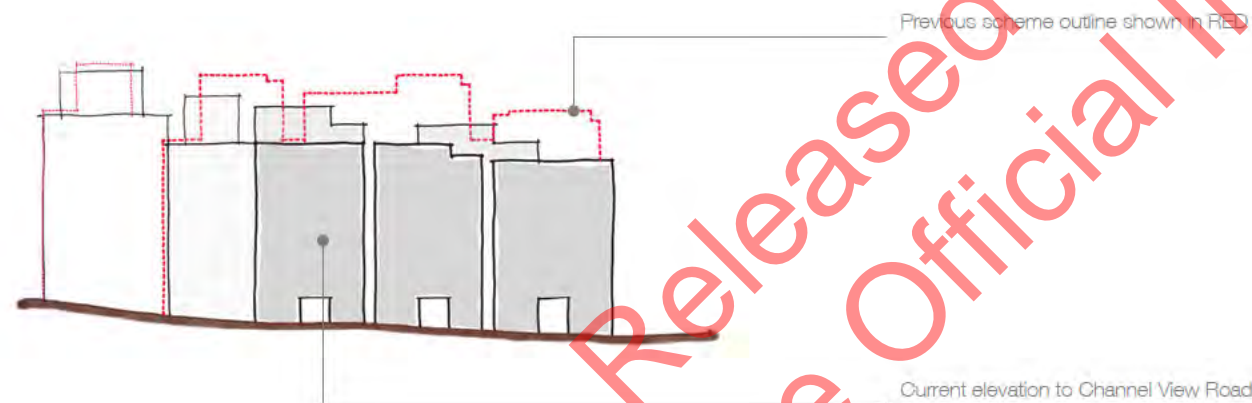
CONTOURS @ 0.25m INTERVALS, NOTED AT EVERY 2m INTERVAL

KEY

- | | | | | | |
|---|-------------------------------|---|----------------------------------|---|--|
|  | PROPOSED SITE |  | NATURAL SITES |  | NOTABLE TREE |
|  | SIGHTLINE TO RANGITOTO ISLAND |  | SHARED PEDESTRIAN ROAD |  | RIGHT OF WAY EASEMENT |
|  | STRAND FOOTPATH COLLECTORS |  | STREET / PUBLIC SPACE CONNECTION |  | LIGHT AND AIR EASEMENT |
|  | LANEWAY / COVERED ARCADE |  | PEDESTRIAN EASEMENT |  | 1540.10.3 INDICATIVE THROUGH-SITE LINK |



AUDP_11.03.21 Channel View Road Render



Previous scheme outline shown in RED

Current elevation to Channel View Road

DESIGN CHANGES

Throughout the design and development of the project, the project team has engaged in both internal review and independent design review via the Auckland Urban Design Panel (AUDP). The following outlines key changes to the proposed development:

HURSTMERE ROAD

- Reconfigured design and elevational treatment of the Hurstmere Road elevation.
- North-facing apartments face over 31 Hurstmere Road with articulated facade.
- Hurstmere Road building now a doughnut configuration with atrium.
- Added street canopy to align with 33-45 Hurstmere Road canopy and the atrium link.
- Eastern end of the Hurstmere Road building shifted back to allow a better visual connection to Norfolk Pine plaza area.
- Developed the materiality of the building to clearly express the zones of balconies, hotel rooms, circulation corridors, stair tower and apartments working from Hurstmere Road through to The Strand.

CHANNEL VIEW ROAD

- Reconfigured single block into four separate blocks with reconfigured courtyard spaces between allowing multiple pedestrian entry points for the residents and creating a more permeated built form.
- The four buildings to have similar materials and elevations but with differences.
- Larger pedestrian entry points along Channel View Road frontage.
- Redesigned and reduced penthouse level(s) with fewer blocks and reduced height.
- Penthouses differentiated from apartments below with different materiality.
- Reduction in overall height of the block from previous scheme.
- Reconsidered elevation treatment to Channel View Road frontages to better respond to AUDP commentary.
- Better overall apartment layout and amenity for residents with dual frontage apartments.
- Reconsidered materials and colours, particularly to the Channel View Road elevation, further articulating the balconies above the setback with those below both in terms of overall width and articulation at a detail level through the use of shutters and blinds to further distinguish the top from the base.

THE STRAND

- Now a separate standalone building from the Channel View Road building.
- Creates more space around existing Norfolk Pine.
- Differentiated with colour and materiality from other buildings.
- Fronts onto the view from Memorial Plaza and opens up the view from The Strand.
- Additional open plaza space adjacent to The Strand.
- Relocated car park access to Level B1 further down The Strand which prioritises the space around the existing Norfolk Pine for landscaping rather than vehicle access, allows for car park egress to effectively be at grade rather than a ramp, and better visibility in the shared space.
- Retail spaces adjacent to The Strand have been deleted from the scheme; one space is now the car park entry point as well as a place for cycle entry into the basement and end of trip facilities/mailbox, other space is afforded an office/lounge use suitable for the apartment complex.
- Public realm to be hard landscaped as a shared space contrasting with the soft landscaping around the existing Norfolk Pine.

NORTH SOUTH LINK

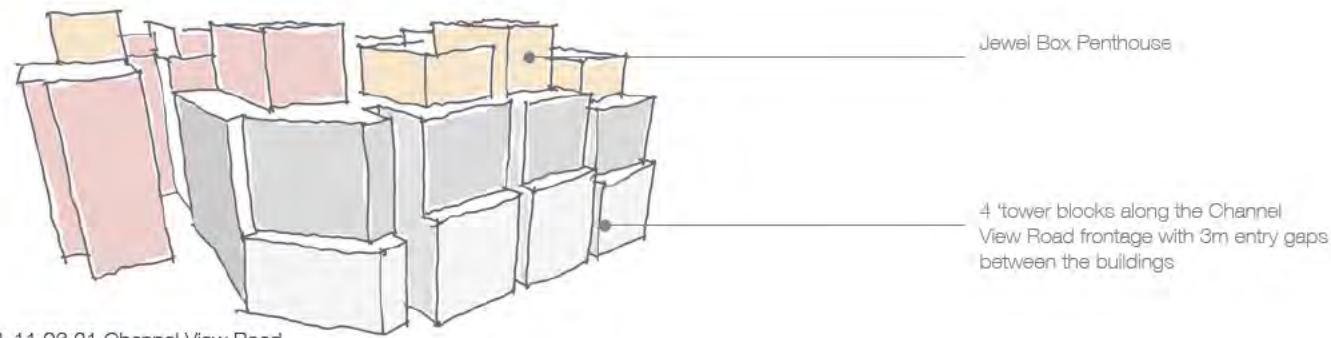
- Removal of the square to create better laneways, more focussed direct movement.
- Added accessible ramp to allow for change in level of the link around the Norfolk Pine, aligned to position of existing ramp.
- Suggested ground floor activity of Building Manager along north south link.
- Reconfigured and widened pedestrian link providing a more generous access off The Strand adjacent to the existing Norfolk Pine.
- Vehicle and car park access point shifted further down The Strand.
- Northern link uses the plaza area of 33-45 Hurstmere Road to provide access to the ramp from Hurstmere Road to the northern east- west through site link.

EAST WEST LINK — NORTH

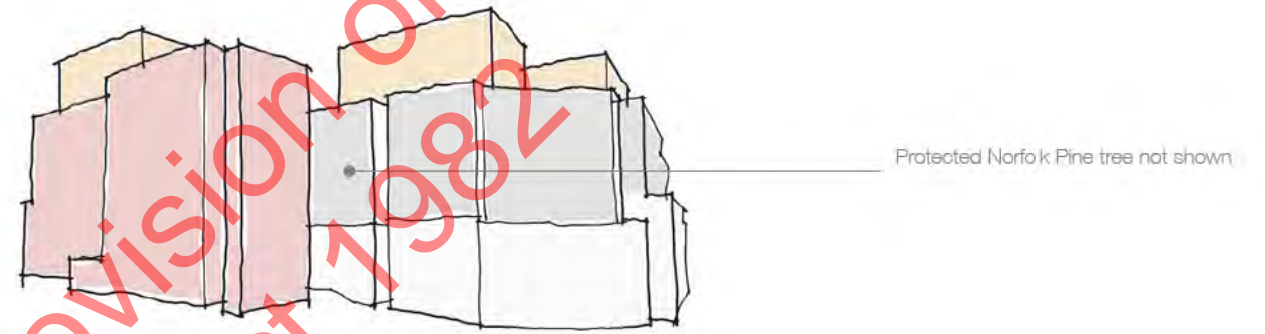
- No change with a retail frontage at grade.
- Elevational changes to buildings above with larger gaps between buildings.

EAST WEST LINK — SOUTH

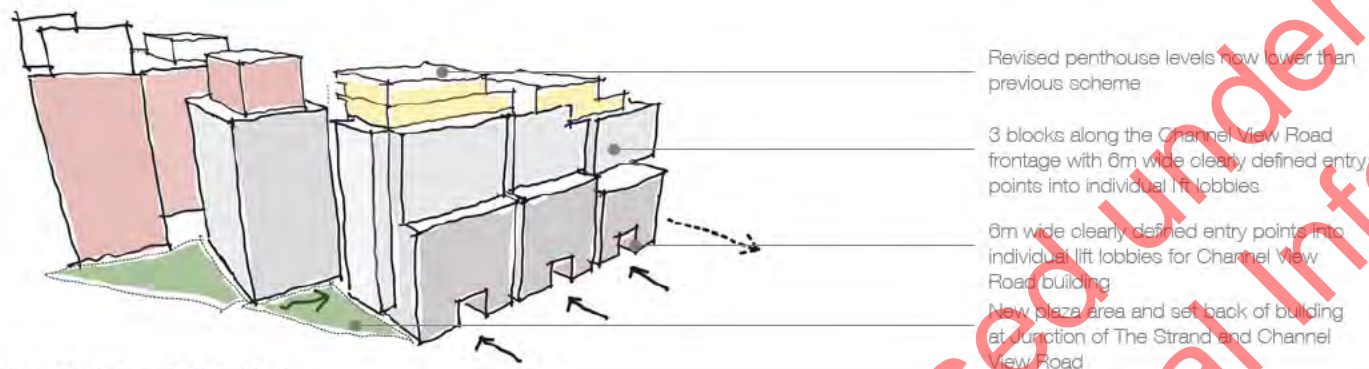
- Atrium link with security control at east and west ends, glass roof over the space.



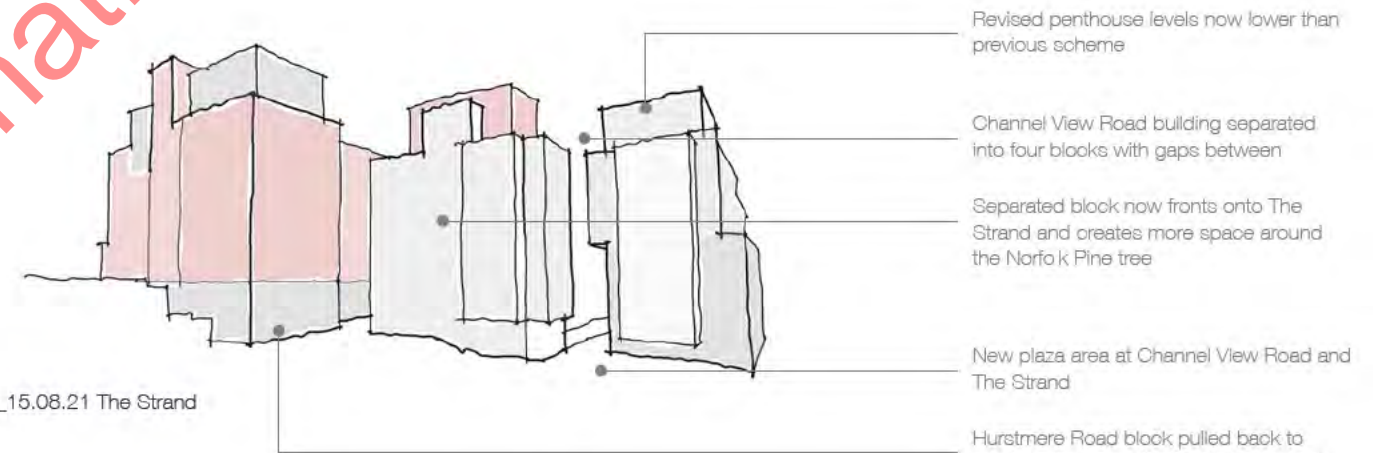
AUDP_11.03.21 Channel View Road



AUDP_11.03.21 The Strand

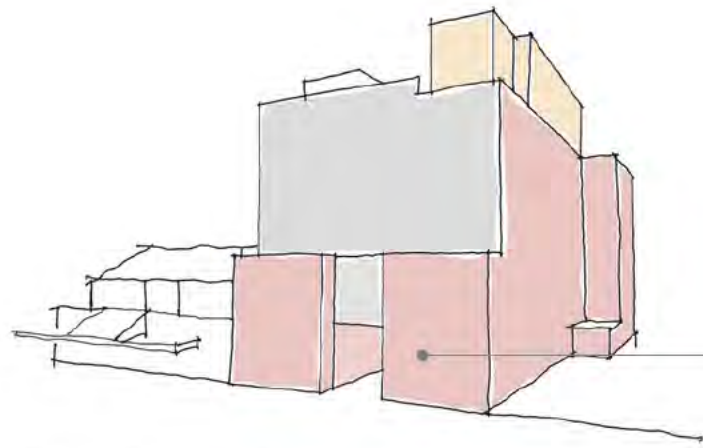


AUDP_15.08.21 Channel View Road



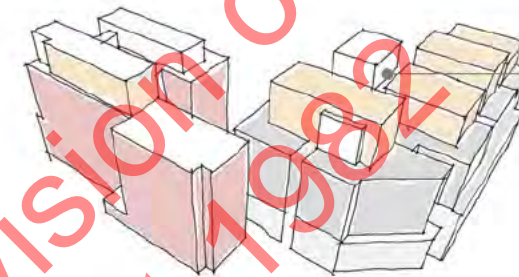
AUDP_15.08.21 The Strand

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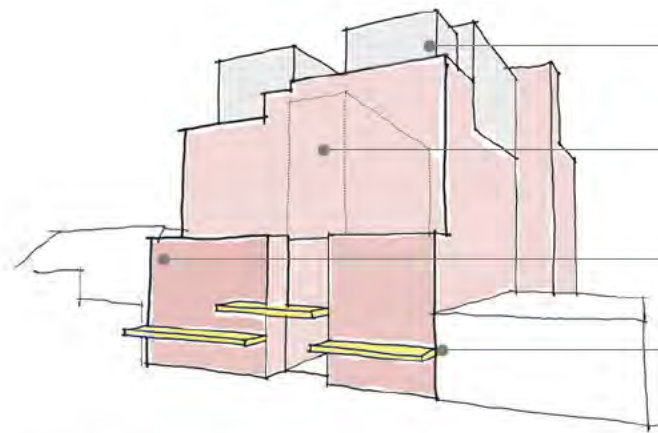
No street canopies and open through site link

AUDP_11.03.21 Hurstmere Road



Channel View Road building on one block with four towers onto road frontage and jewel box rooftop penthouses

AUDP_11.03.21 The Strand Aerial



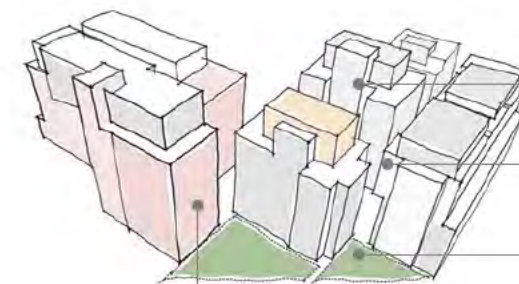
Redefined penthouse levels to Hurstmere Road frontage

New atrium space created with Hurstmere Road frontage - shown dotted

Site and building extended to take in 31 Channel View Road

Street canopies added to align with existing buildings

AUDP_15.08.21 Hurstmere Road



Penthouse level masses redefined to step up around the site

Channel View Road building separated into four blocks with gaps between

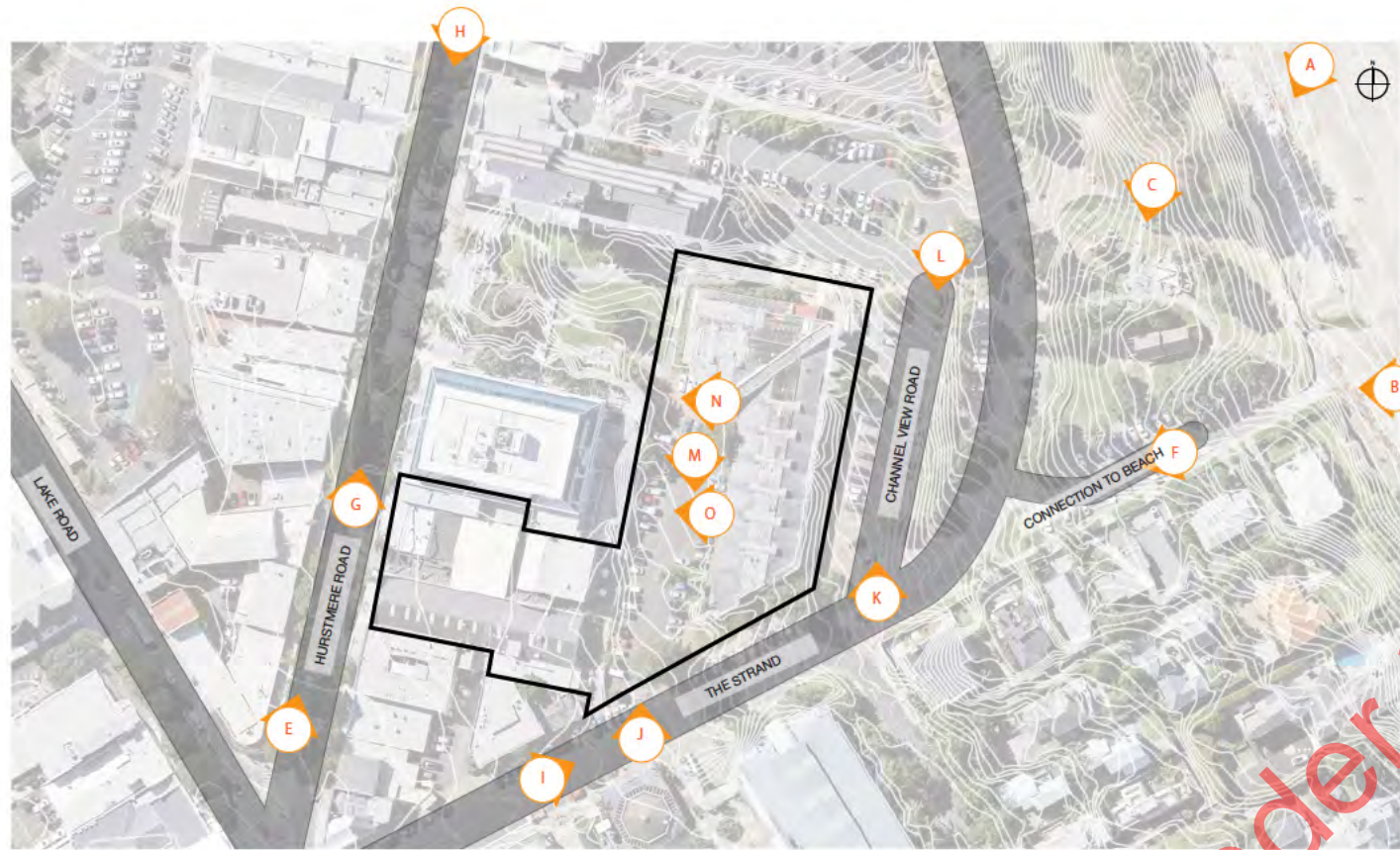
New plaza at junction of The Strand and Channel View Road

Hurstmere Road block pulled back to create more space for Norfolk Pine and improve north south connection to The Strand and Hurstmere Green

AUDP_15.08.21 The Strand Aerial

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SITE + CONTEXT PHOTOGRAPHS



1:2000 @A3



A / VIEW FROM TAKAPUNA BEACH



B / VIEW FROM TAKAPUNA BEACH (LOW TIDE)



C / VIEW FROM TAKAPUNA BEACH RESERVE



D / VIEW FROM THE INTERSECTION OF LAKE ROAD AND NORTHCROFT STREET



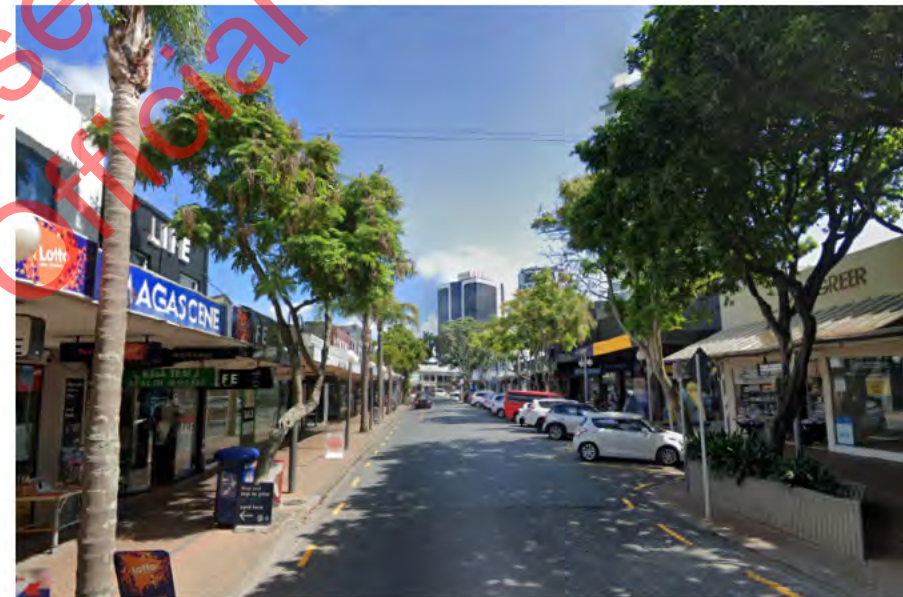
E / VIEW FROM 38 HURSTMERE ROAD



F / VIEW FROM THE STRAND



G / VIEW FROM HURSTMERE ROAD / TOWARDS THE NORTH



H / VIEW FROM HURSTMERE ROAD / TOWARDS THE SOUTH



I / VIEW FROM THE STRAND / TOWARDS THE EAST

SITE + CONTEXT PHOTOGRAPHS



J / VIEW FROM THE STRAND / TOWARDS THE CARPARK



K / VIEW FROM CHANNEL VIEW ROAD / TOWARDS THE NORTH



L / VIEW FROM CHANNEL VIEW ROAD / TOWARDS THE SOUTH



M / VIEW FROM CARPARK / TOWARDS NORFOLK ISLAND PINE

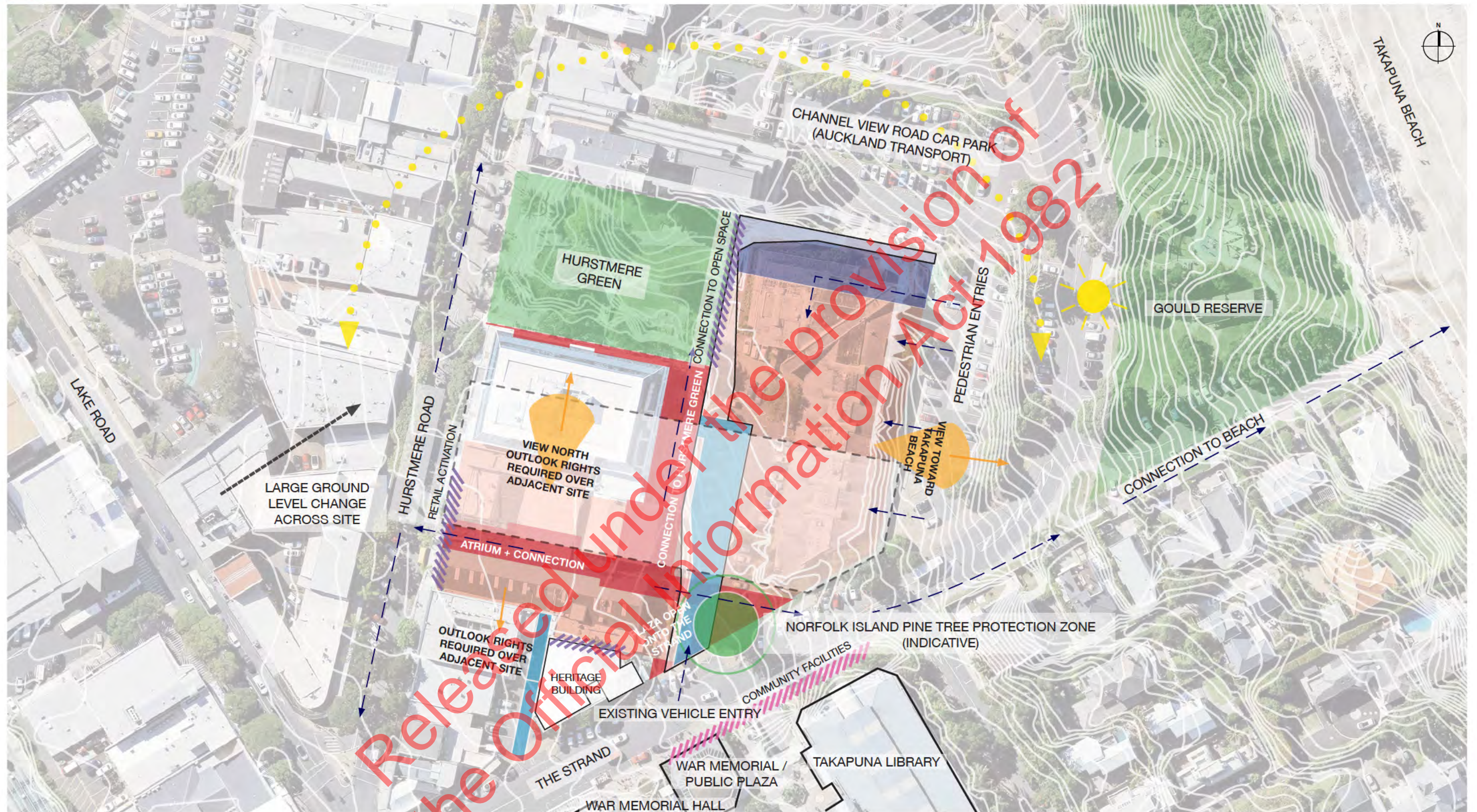


N / VIEW FROM CARPARK / FOOTPATH



O / VIEW FROM CARPARK / TOWARDS THE WEST

SITE OVERVIEW — OPPORTUNITIES & CONSTRAINTS



1:1000 @A3

CONTOURS @ 0.25m INTERVALS

KEY

- | | | | | | |
|--|----------------------------|--|-----------------|--|--|
| | PROPOSED SITE | | VIEW DIRECTIONS | | LIGHT AND AIR EASEMENT |
| | PROPOSED THROUGH-SITE LINK | | KEY INTERFACES | | RIGHT OF WAY EASEMENT |
| | NOTABLE TREE | | KEY ADJACENCIES | | PEDESTRIAN EASEMENT |
| | EXISTING PUBLIC OPEN SPACE | | SUN PATH | | 1540.10.3 INDICATIVE THROUGH-SITE LINK |

PROJECT PRECEDENTS



79&PARK, STOCKHOLM



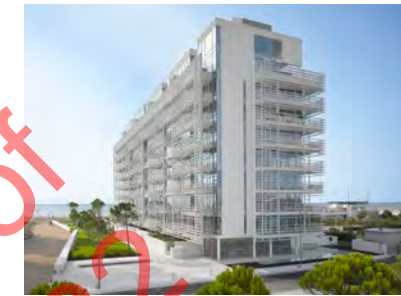
BASILICA APARTMENTS (MOLLER ARCHITECTS), AUCKLAND



SURREY HILLS VILLAGE, SYDNEY



JESOLO LIDO CONDOMINIUMS, JESOLO



PACE OF COLLINGWOOD, MELBOURNE



CASBA, SYDNEY



109 HOUSING UNITS, PARIS



LEIGHTON APARTMENTS, PERTH



HELSINKI DREISPITZ, BASEL



BARCELONA APARTMENTS, BARCELONA



STEAM MILL LANE, SYDNEY



THE POINT (MOLLER ARCHITECTS) AUCKLAND



LANEWAYS, MELBOURNE



TULOU HOUSING, GUANGZHOU

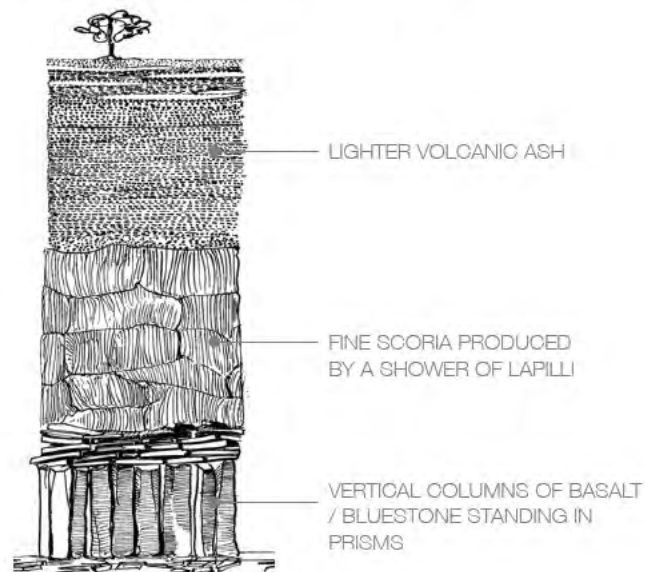
SITE, CONTEXT + MATERIALS

TAKAPUNA HISTORY

A coastal suburb at the southern end of the East Coast Bays, Takapuna's history is steeped in activity relating to the Pupuke eruption around 150,000 years ago. Lake Pupuke, the crater which later filled with fresh spring water, lies 200m inland from the shores. Across the 19th century, Takapuna was awash with small dairy farms, while the beach and lake became resorts.

Natural resources were rich and plentiful on the North Shore. The fertile volcanic loams found around Takapuna were well utilised for Maori gardens and the manufacturing and trade of locally available raw materials were present.

Takapuna gained city status after the opening of Auckland's Harbour Bridge, and it is the commercial and administrative hub of the North Shore.



^ Section through the volcanic formation at Smales Quarry. Professor JE Morton, 'Takapuna's natural history', Takapuna Jubilee 1913-1963, Ross Sayers ed., Takapuna Borough Council, p. 116.

BASALT

In the Pupuke eruption, Lava flowed out towards Thorne Bay and the northern end of Takapuna Beach over what is now Hurstmere Road, engulfing a forest in its path and preserving casts of the lowland forest trees before incinerating them. Lava outcrops, and some remnants of the fossil forest are still visible, especially at low tide.

There is a strong history of quarrying on the North Shore with HH Adams Quarry, a working quarry of scoria and basalt located south west of Lake Pupuke, which was later acquired by the Smale family. By the 1970s, Smales Quarry was producing a variety of stone products that were mainly used for residential purposes. The company provided rock for foundation stones and walls, as well as pebble gardens.

BRICK

Extractive industries dominated the North Shore in the nineteenth and early twentieth centuries. Among these was brickmaking which required a good supply of local clay, readily available at Takapuna, where the industry subsequently flourished, primarily supplying local needs. Substantial clay deposits formed during the Miocene and Pleistocene periods were found in the southern area of Takapuna and the Barrys Point Road area, as well as across other sites on the North Shore. By the late 1880s more than ten brickworks had been established along the coast from Devonport to Birkenhead. Smales Quarry,

Brick was used across many early buildings on the North Shore, including historic defence structures such as Fort Takapuna, and the Pumphouse Takapuna.

LIMESTONE

Sandstone-siltstone alternation is well exposed on the sea cliffs that line the Waitemata Harbour and Hauraki Gulf, from Takapuna Beach and running south-east.



^ Lava outcrops form a basalt field at Takapuna Beach, basalt rock and scoria on the foreshore, and the sandstone-siltstone sea cliffs that line the eastern coast of the North Shore.

^ Basalt walls, terracotta and brick panels and concrete with stone chip nod to Takapuna's history, reinterpreted in an urban setting.



^ Fort Takapuna / O Peretu.



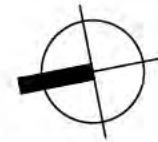
^ The Pumphouse Takapuna, past and present.



^ Basalt sea wall at Takapuna Beach.



^ A neighbouring building / 40th & Hurstmere, Jack McKinney Architects.



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Notes

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LEVELS ARE BASED ON AUCKLAND VERTICAL DATUM 1946.

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BUILDING OUTLINES REFLECT SURVEYED EXTENT AT LOWEST VISIBLE CONNECTION TO GROUND. RAMP ARROWS DIRECT TOWARDS INCREASING INCLINE.

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ESTIMATED TREE HEIGHTS ARE BASED ON SURVEYED POINTS AT HIGHEST VISIBLE POINT OF TARGET TREE, AND ARE LABELED RELATIVE TO VERTICAL DATUM.

FOR FURTHER DETAIL REFER TO PRECISION 3D POINT CLOUD DOCUMENTATION, OR CONTACT THE SURVEYOR.

Legend

Ground Spot Level (LiDAR)	× 0.00
Ground Spot Level (Total Station)	⊕ 0.00
Bush / Hedge	▭
Tree / Dripline	○
Downpipe	○ DP
Gully Trap	GT
Stormwater Drain	DR
Manhole (Unidentified)	○ MH
Lot Boundaries	---
Overhead Powerline	---
Power Pylon	PP
Communications Duct	□ CD
Power Transformer	TF
Street Light	ST



MfE FAST TRACK RESPONSE / UPDATED DRAWINGS

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SUMMARY OF PROPOSED DESIGN

SITE AREA	10232m ²		
(Source: Auckland Council GIS, 28/06/2021)	1.0232ha		
ACTIVITIES	HURSTMERE ROAD	CHANNEL VIEW ROAD	
Residential (GFA)	11701m ²	20804m ²	
Retail (GFA)	745m ²	781m ²	
Office (GFA)	203m ²	266m ²	
Restaurant (GFA)	546m ²	n/a	
NUMBER OF SERVICED APARTMENTS	HURSTMERE ROAD	CHANNEL VIEW ROAD	TOTAL
Studio	100	0	100
TOTAL	100	0	100
NUMBER OF PREMIUM APARTMENTS	HURSTMERE ROAD	CHANNEL VIEW ROAD	TOTAL
One bedroom	16	11	27
Two bedroom	25	69	94
Three bedroom	17	48	65
Penthouse	2	7	9
TOTAL	60	135	195
BUILDING HEIGHT	HURSTMERE ROAD	CHANNEL VIEW ROAD	
Metres	43.50m	43.60m	
Storeys	11 (+ 2 level basement)	12 (+ 4 level basement)	
RL	60500	57900	
VEHICLE SPACES	HURSTMERE ROAD	CHANNEL VIEW ROAD	TOTAL
Cars	109	297	406
Bicycles	120	282	402

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Project No. A5488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland

Sheet
Site Plan

Original Scale (A1) 1 : 500
Design Moller
Drawn -
Ckx -
Issue Date WP
Plot Date 11/08/2021 12:26:04 PM

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Use 1mm paper size. Not drawing scale.

0 10 20 50mm

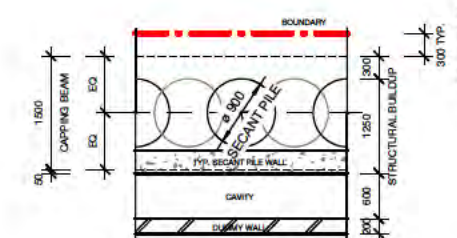
Drawing No. A00-100

Revision

CONCEPT DESIGN

ISSUE DATE:
11/08/2021

- Note:
- 1 BED APT.
 - Pool / Gym
 - 2 BED APT.
 - Basement Carpark
 - 3 BED APT.
 - Bike Storage
 - 3 BED PH.
 - Waste Room
 - Serviced Apartment
 - Plant / Storage
 - Office
 - Lobby
 - BOH
 - Stair
 - Retail
 - Lift
 - Restaurant



2 Boundary Retain Zone Allowance - Typical
A1: 1:50

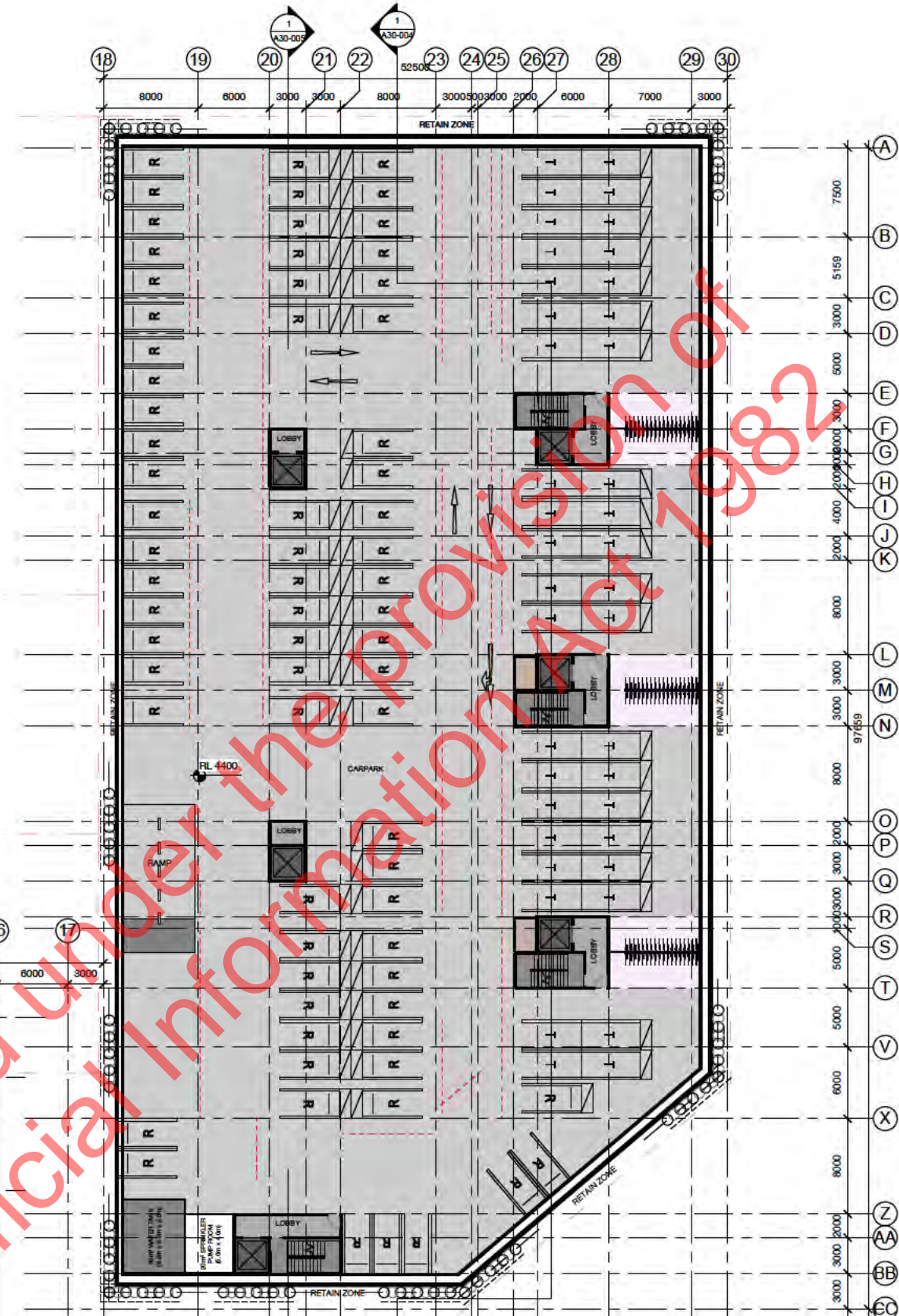


Project No. A5488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland
Sheet
Level B4 - Floor Plan

Original Scale (A1) As Indicated
Design: Moller
Drawn: -
Chk: -
Issue Date: W.P.
Plot Date: 11/08/2021 12:26:07 PM

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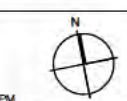
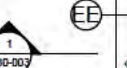
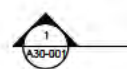
Drawing No. A01-010 Revision



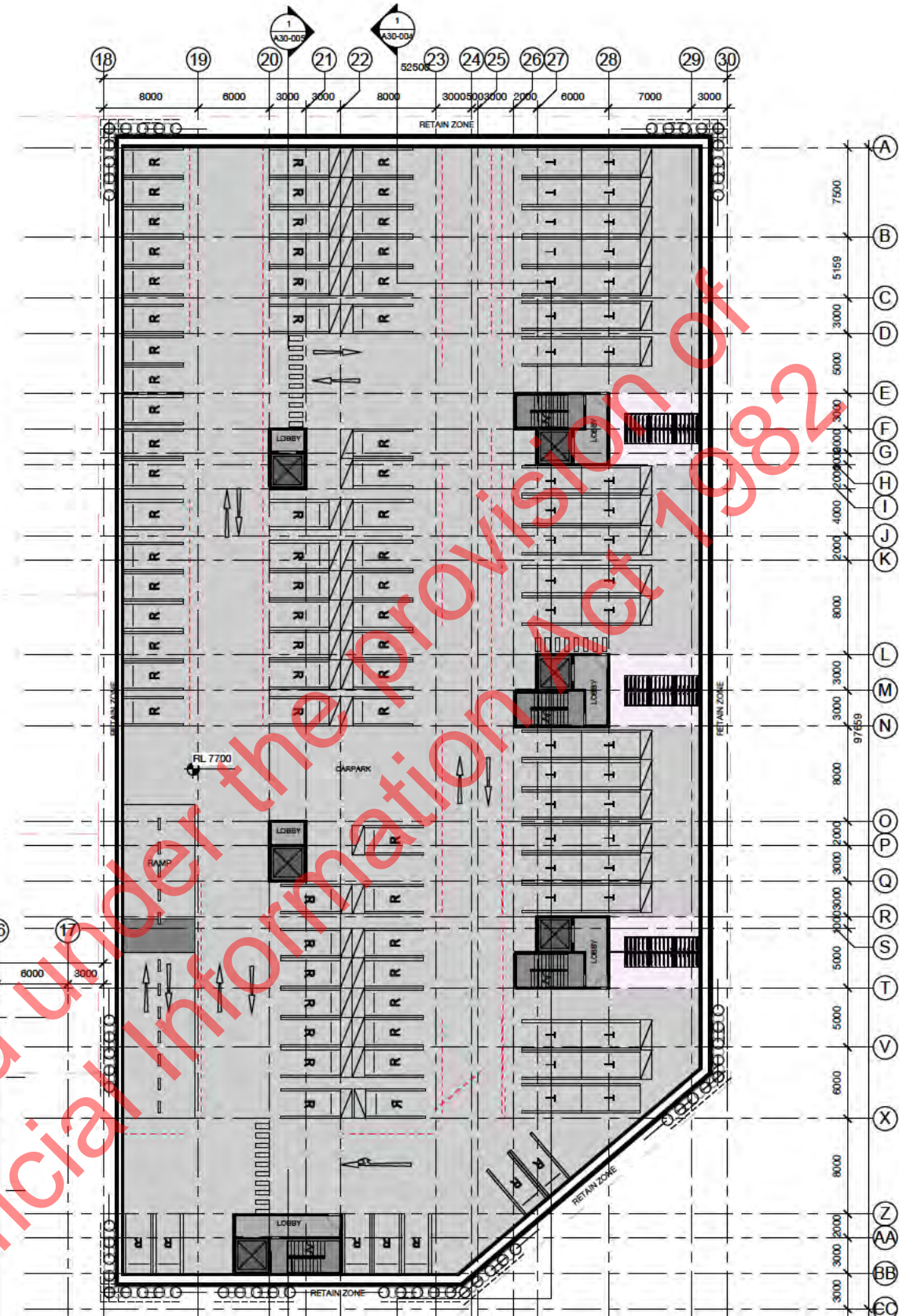
Released under the provisions of Section 217(1)(b) of the Official Information Act 1982

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61000

U 5000
W 9500
Y 38500
12000
DD 4000
EE 8000
FF



0 10 20 50mm



Revisions
 No. Description By Date

CONCEPT DESIGN

ISSUE DATE:
 11/08/2021

- Note:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17

3000 2000 8000 2000 4000 4000 4000 4000 2000 3000 3000 6000 3000 6000 3000

61000

U W Y DD EE FF

5000 9600 12000 4000 8000

1 A30-001

1 A30-002

1 A30-003



Project No. A5488
 The North Shore Project
 for
 HND TS Limited
 Address
 Takapuna, Auckland

Sheet
 Level B3 - Floor Plan

Original Scale (A1) 1 : 250
 Design Moller
 Drawn -
 Chk -
 Issue Date WP
 Plot Date 11/08/2021 12:26:11 PM

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 0 is not paper size. Not drawing scale

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Drawing No. Revision

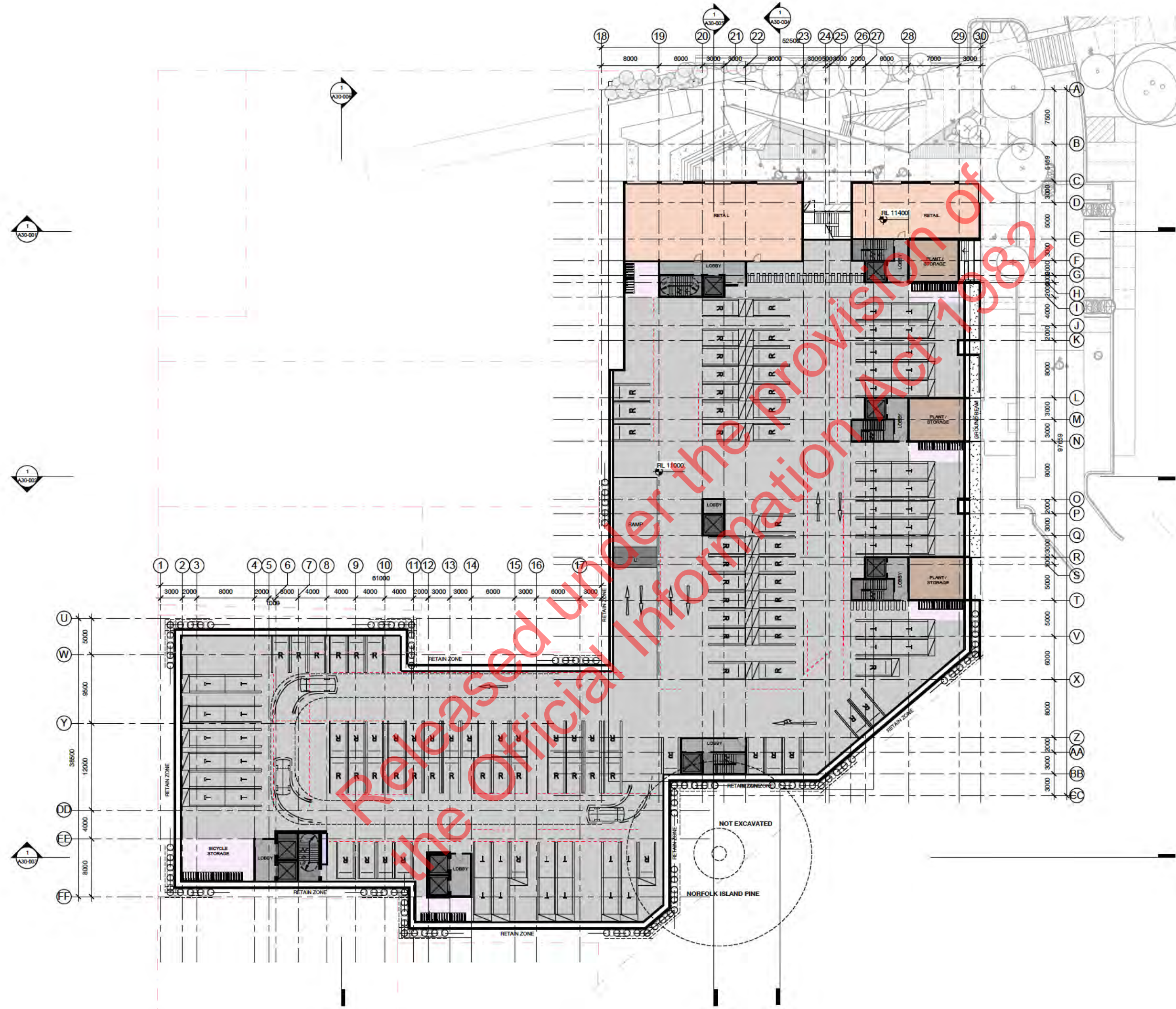
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Revisions
No. Description By Date

CONCEPT DESIGN

ISSUE DATE:
11/08/2021

- Note:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift



Project No. A5488
 The North Shore Project
 for
 HND TS Limited
 Address
 Takapuna, Auckland
 Sheet
 Level B2 - Floor Plan

Original Scale (A1) 1 : 250
 Design Moller
 Drawn -
 Clk -
 Issue Date WP
 Plot Date 11/08/2021 12:26:05 PM

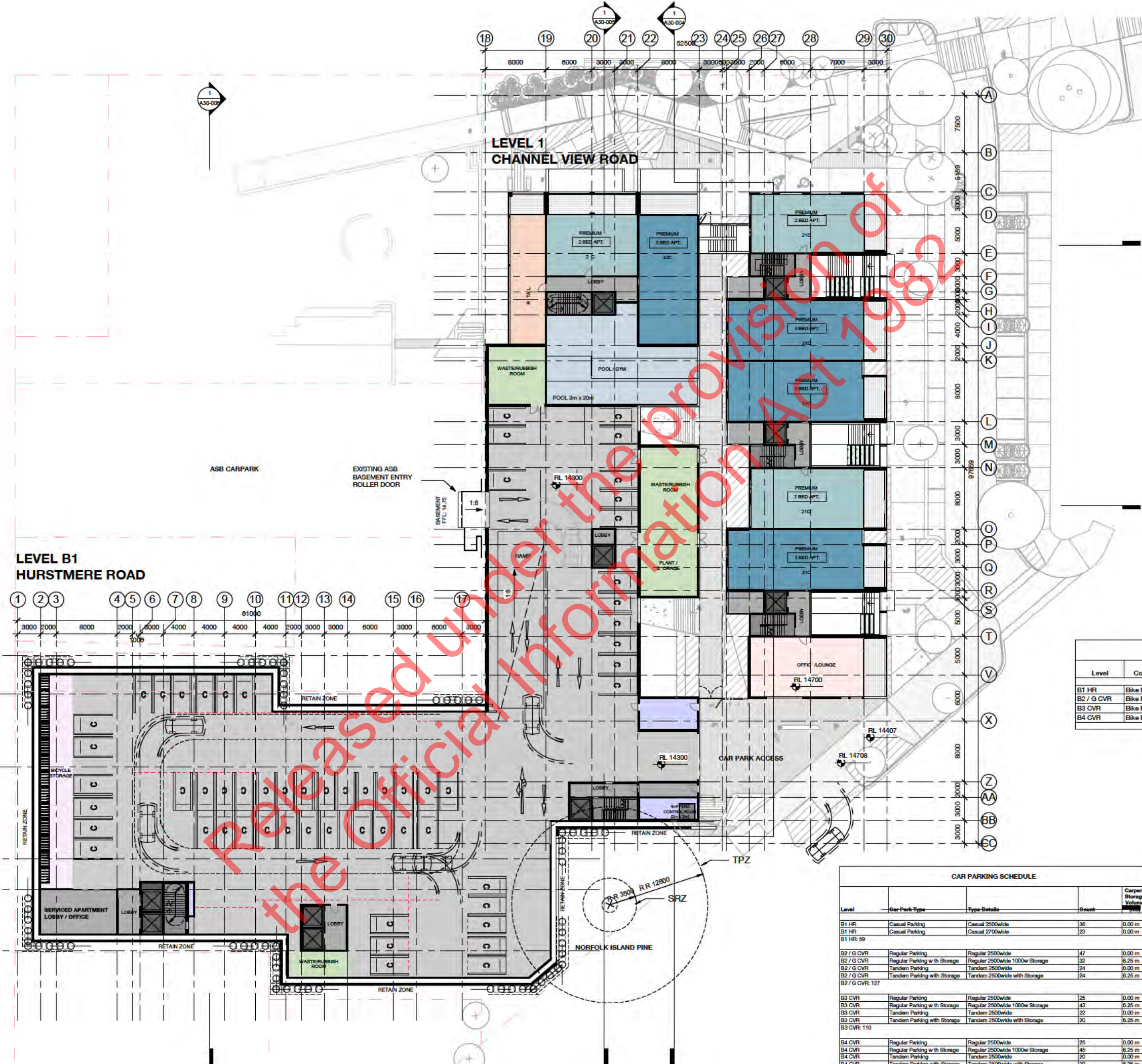
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Drawing No. Revision

A01-030

- Note:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift



BICYCLE PARKING SCHEDULE

Level	Type	Comments	Number of Bicycles per Rack	Rack Count	Bicycle Count
B1 HR	Bike Rack		6	13	78
B2 / G CVR	Bike Rack		6	18	108
B3 CVR	Bike Rack		6	18	108
B4 CVR	Bike Rack		6	18	108
					402

CAR PARKING SCHEDULE

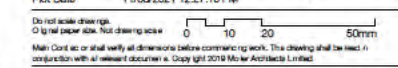
Level	Car Park Type	Type Details	Count	Carpark Storage Volume
B1 HR	Casual Parking	Casual 2500wide	36	0.00 m
B1 HR	Casual Parking	Casual 2700wide	23	0.00 m
B2 / G CVR	Regular Parking	Regular 2500wide	47	0.00 m
B2 / G CVR	Regular Parking w th Storage	Regular 2500wide 1000w Storage	32	6.25 m
B2 / G CVR	Tandem Parking	Tandem 2500wide	24	0.00 m
B2 / G CVR	Tandem Parking with Storage	Tandem 2500wide with Storage	24	6.25 m
B2 / G CVR: 127				
B3 CVR	Regular Parking	Regular 2500wide	26	0.00 m
B3 CVR	Regular Parking w th Storage	Regular 2500wide 1000w Storage	43	6.25 m
B3 CVR	Tandem Parking	Tandem 2500wide	22	0.00 m
B3 CVR	Tandem Parking with Storage	Tandem 2500wide with Storage	20	6.25 m
B3 CVR: 110				
B4 CVR	Regular Parking	Regular 2500wide	25	0.00 m
B4 CVR	Regular Parking w th Storage	Regular 2500wide 1000w Storage	45	6.25 m
B4 CVR	Tandem Parking	Tandem 2500wide	20	0.00 m
B4 CVR	Tandem Parking with Storage	Tandem 2500wide with Storage	20	6.25 m
B4 CVR: 110				
Grand total: 406				



Project: The North Shore Project
for: HND TS Limited
Address: Takapuna, Auckland

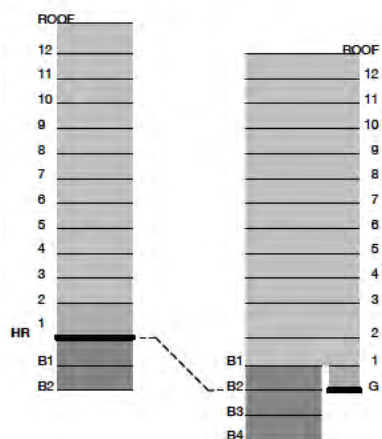
Sheet: Level B1 - Floor Plan

Original Scale (A1) 1 : 250
Design: Moller
Drawn: -
Chk: -
Issue Date: WP
Plot Date: 11/08/2021 12:27:10 PM



CONCEPT DESIGN
ISSUE DATE:
11/08/2021

- Note:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift



2 Levels Reference Diagram
A1: 1:50



Project No. A5488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland

Sheet
Level L1 - Floor Plan

Original Scale (A1) As Indicated
Design: Moller
Drawn: -
Chk: -
Issue Date: WP
Plot Date: 11/08/2021 12:28:04 PM

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Drawing No. A01-050 Revision



NOTE:
Existing Norfolk Pine TPZ area: 514.7m²
TPZ affected by proposed buildings: 15.6m² / 3%

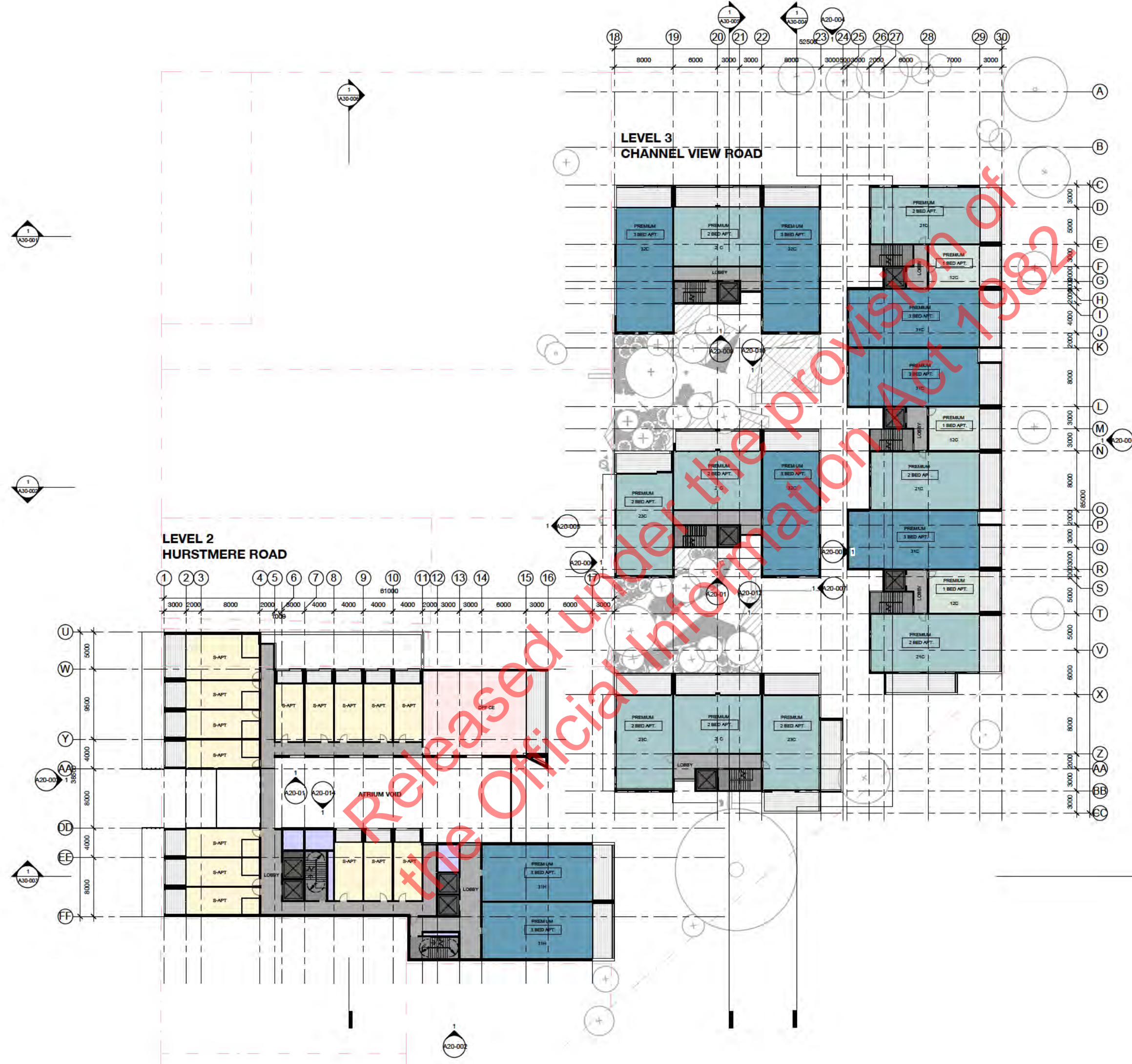
CONCEPT DESIGN

ISSUE DATE:
11/08/2021

- Note:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift

LEVEL 3 CHANNEL VIEW ROAD

LEVEL 2 HURSTMERE ROAD



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Project No. AS488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland
Sheet
Level L2 - Floor Plan

Original Scale (A1) 1 : 250
Design Moller
Drawn -
Chk -
Issue Date W P
Plot Date 11/08/2021 12:28:54 PM

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Drawing No. A01-060
Revision

CONCEPT DESIGN
ISSUE DATE:
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- Note:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift



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Project No. AS488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland
Sheet
Level L3 - Floor Plan

Original Scale (A1) 1 : 250
Design Moller
Drawn -
CHK -
Issue Date W/P
Plot Date 11/08/2021 12:29:11 PM

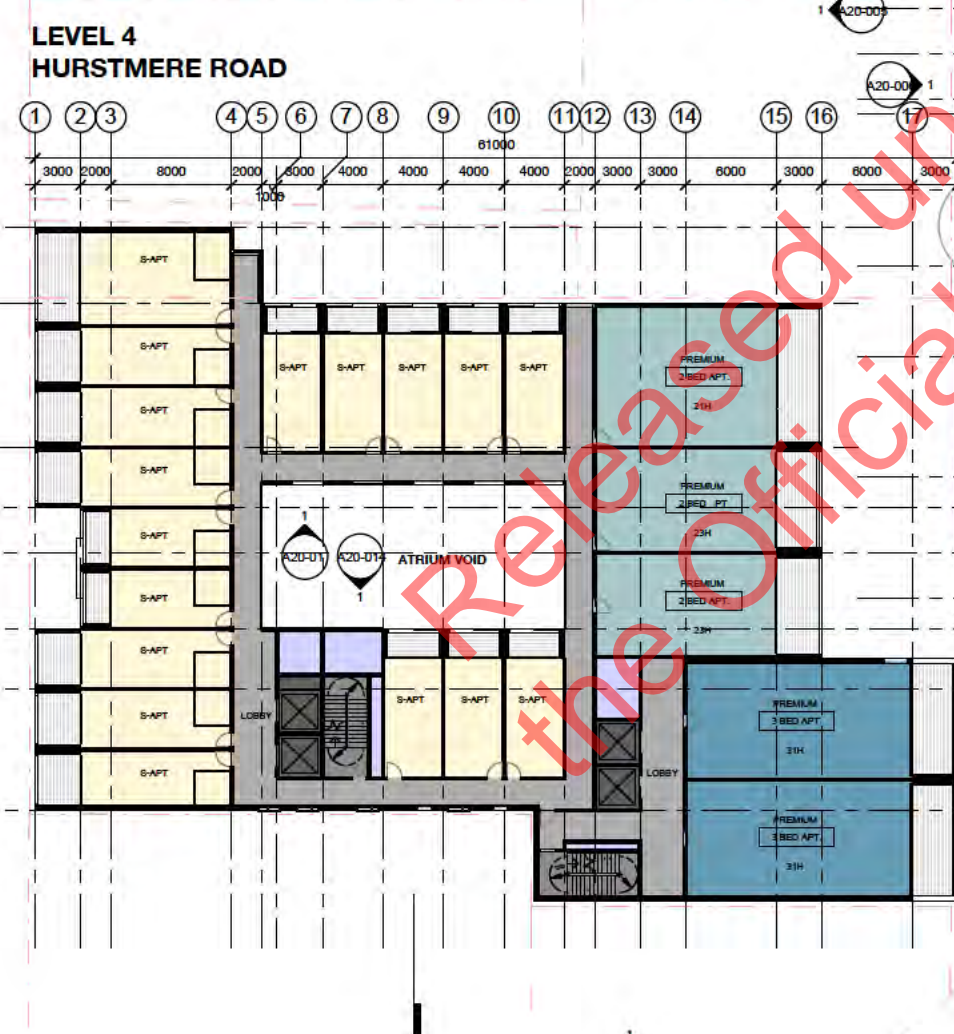
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A01-070

CONCEPT DESIGN

ISSUE DATE:
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- Notes:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift



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Project No. AS488
 The North Shore Project
 for
 HND TS Limited
 Address
 Takapuna, Auckland
 Sheet
 Level L4 - Floor Plan

Original Scale (A1) 1 : 250
 Design: Moller
 Drawn: -
 Chk: -
 Issue Date: W/P
 Plot Date: 11/08/2021 12:29:27 PM

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- Notes:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift

LEVEL 6
CHANNEL VIEW ROAD

LEVEL 5
HURSTMERE ROAD



Project No. A5488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland
Sheet
Level L5 - Floor Plan

Original Scale (A1) 1 : 250
Design Moller
Drawn -
Chk -
Issue Date W/P
Plot Date 11/08/2021 12:29:38 PM

Do not scale drawings
Metric units are shown in millimeters. All dimensions are in millimeters unless otherwise stated.
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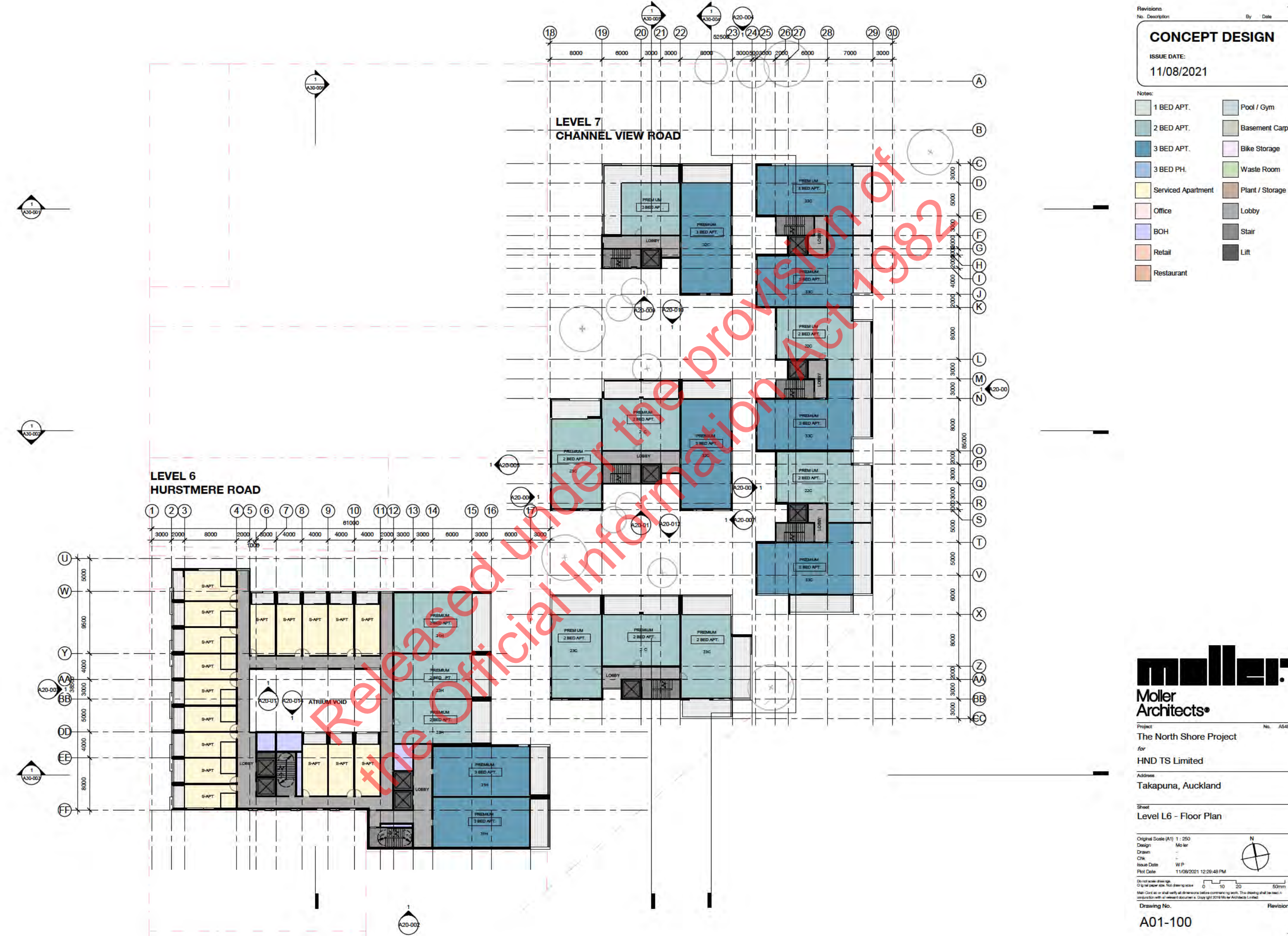
CONCEPT DESIGN

ISSUE DATE:
11/08/2021

- Notes:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift

LEVEL 7
CHANNEL VIEW ROAD

LEVEL 6
HURSTMERE ROAD



Project No. A5488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland
Sheet
Level L6 - Floor Plan

Original Scale (A1) 1 : 250
Design Moller
Drawn -
Chk -
Issue Date W P
Plot Date 11/08/2021 12:29:48 PM

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- Note:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift

18 19 20 21 22 23 24 25 26 27 28 29 30
8000 6000 3000 3000 8000 3000 3000 2000 6000 7000 3000

LEVEL 8
CHANNEL VIEW ROAD

LEVEL 7
HURSTMERE ROAD

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17
3000 2000 8000 2000 5000 4000 4000 4000 2000 3000 3000 6000 3000 6000 3000



Project No. AS488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland
Sheet
Level L7 - Floor Plan

Original Scale (A1) 1 : 250
Design Moller
Drawn -
Chk -
Issue Date W/P
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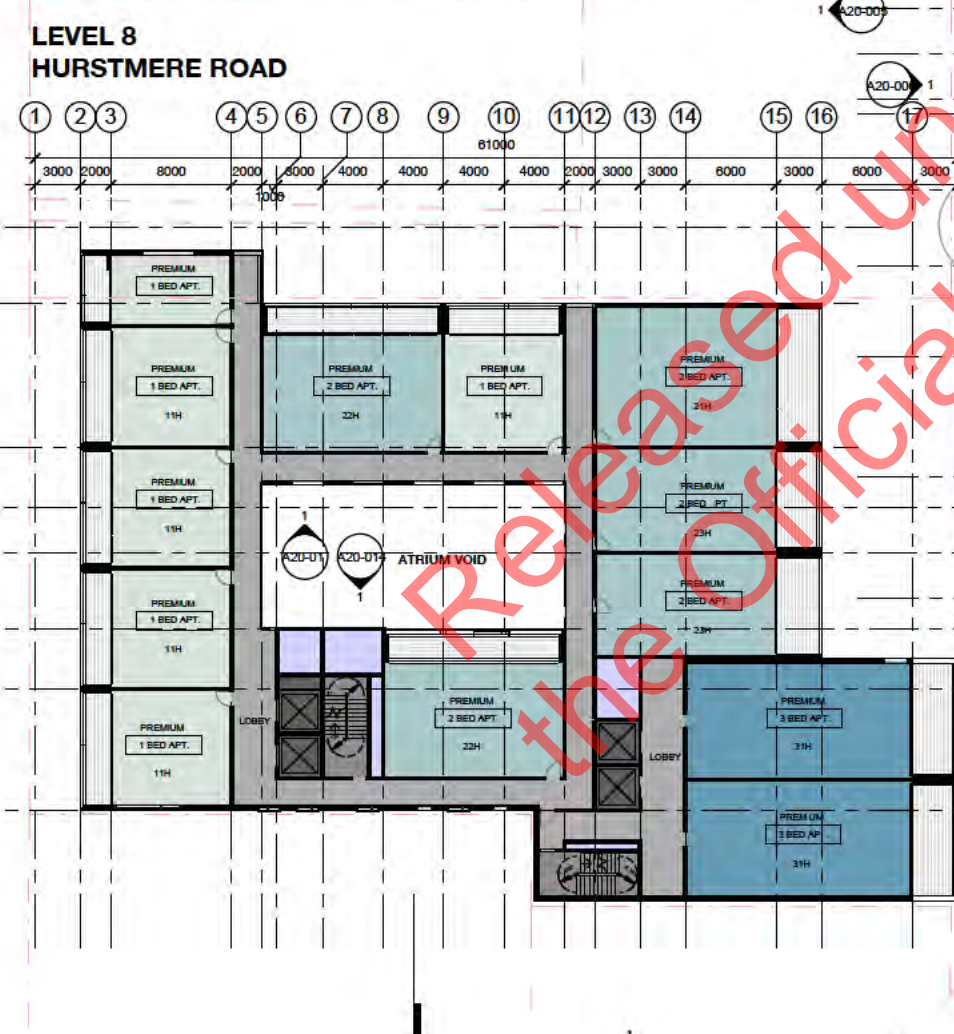
A01-110

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ISSUE DATE:
11/08/2021

- Note:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift



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Project No. AS488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland
Sheet
Level L8 - Floor Plan

Original Scale (A1) 1 : 250
Design Moller
Drawn -
Chk -
Issue Date WP
Plot Date 11/08/2021 12:30:00 PM

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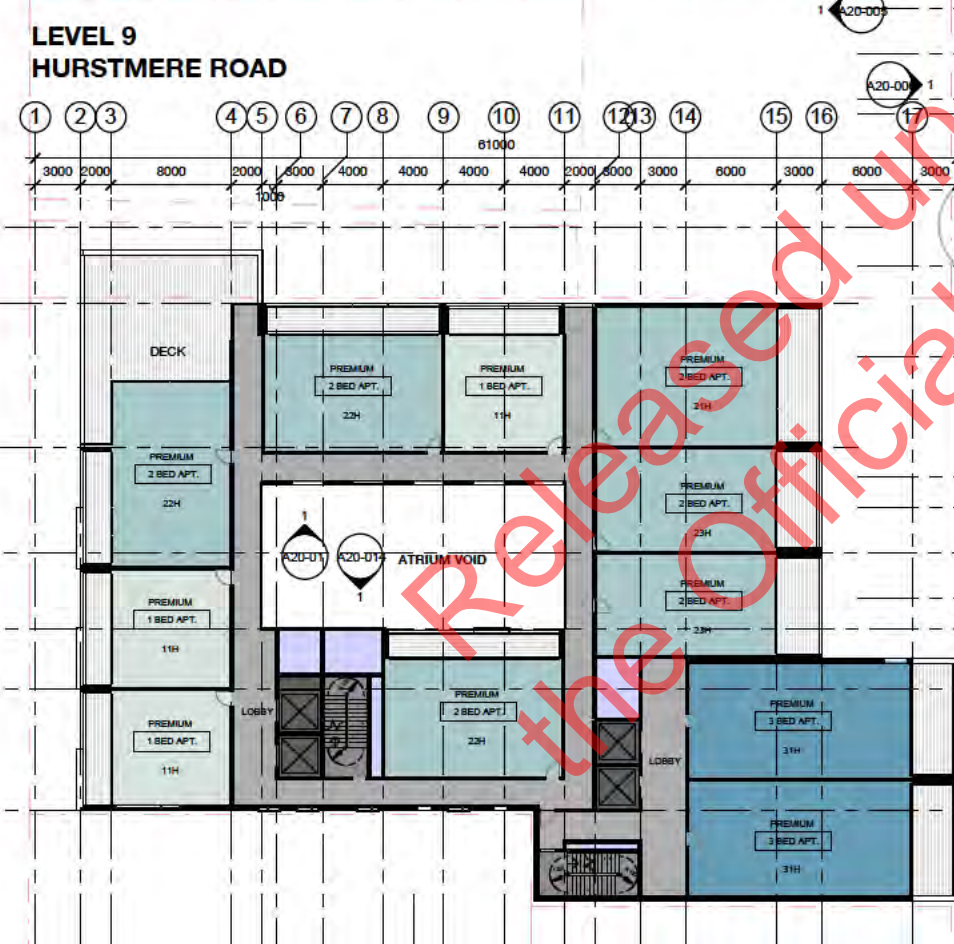
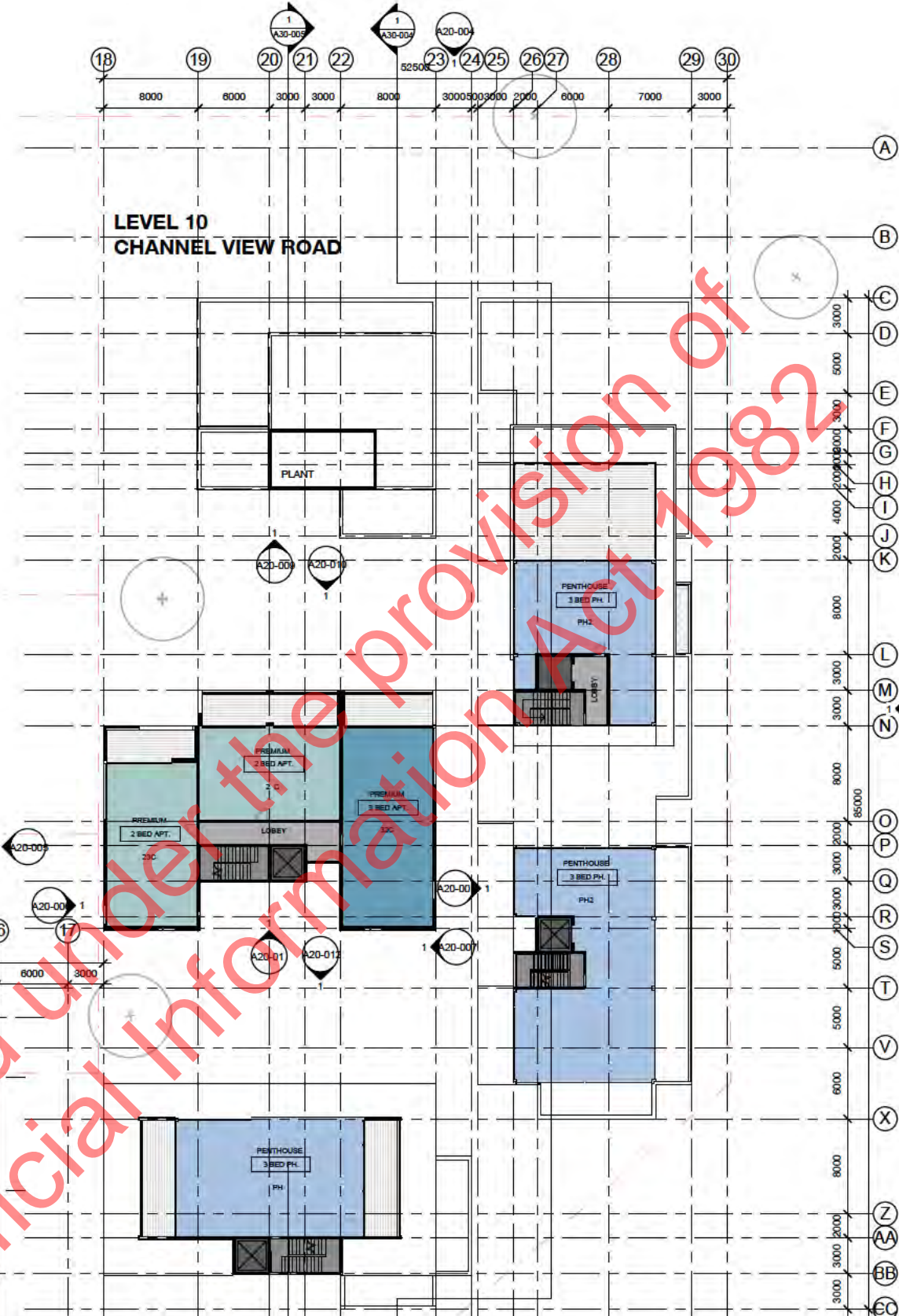
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CONCEPT DESIGN

ISSUE DATE:
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- Note:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift



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Project No. AS488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland
Sheet
Level L9 - Floor Plan

Original Scale (A1) 1 : 250
Design Moller
Drawn -
CHK -
Issue Date W.P.
Plot Date 11/08/2021 12:30:05 PM

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Drawing No. A01-130
Revision

CONCEPT DESIGN

ISSUE DATE:
11/08/2021

- Note:
- | | | | |
|--|--------------------|--|------------------|
| | 1 BED APT. | | Pool / Gym |
| | 2 BED APT. | | Basement Carpark |
| | 3 BED APT. | | Bike Storage |
| | 3 BED PH. | | Waste Room |
| | Serviced Apartment | | Plant / Storage |
| | Office | | Lobby |
| | BOH | | Stair |
| | Retail | | Lift |
| | Restaurant | | |



Project No. A5488
 The North Shore Project
 for
 HND TS Limited
 Address
 Takapuna, Auckland
 Sheet
 Level L10 - Floor Plan

Original Scale (A1) 1 : 250
 Design Moller
 Drawn -
 Chk -
 Issue Date W.P.
 Plot Date 11/08/2021 12:30:09 PM

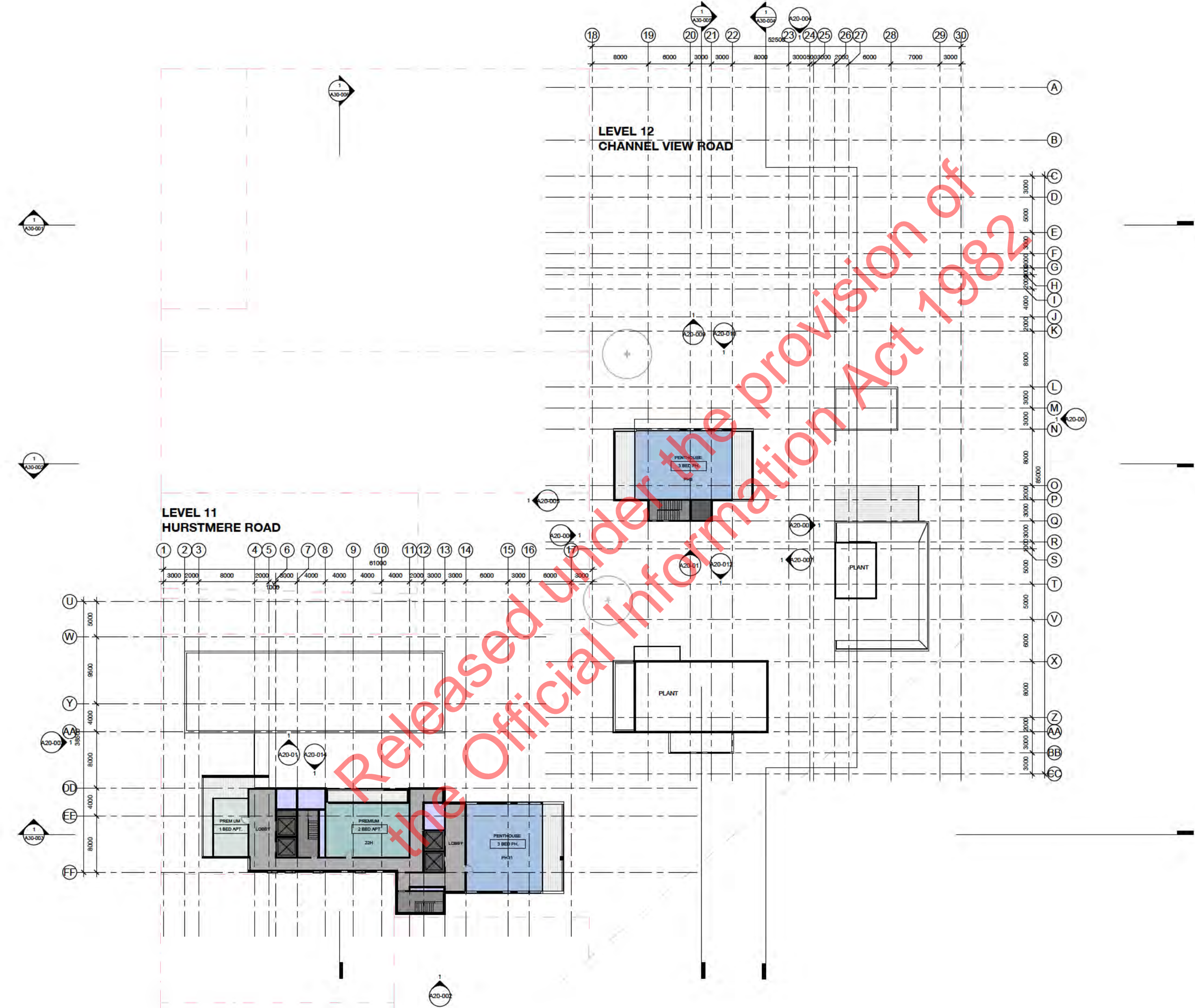
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Drawing No. A01-140 Revision

CONCEPT DESIGN

ISSUE DATE:
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- Note:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift



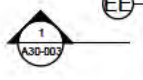
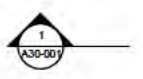
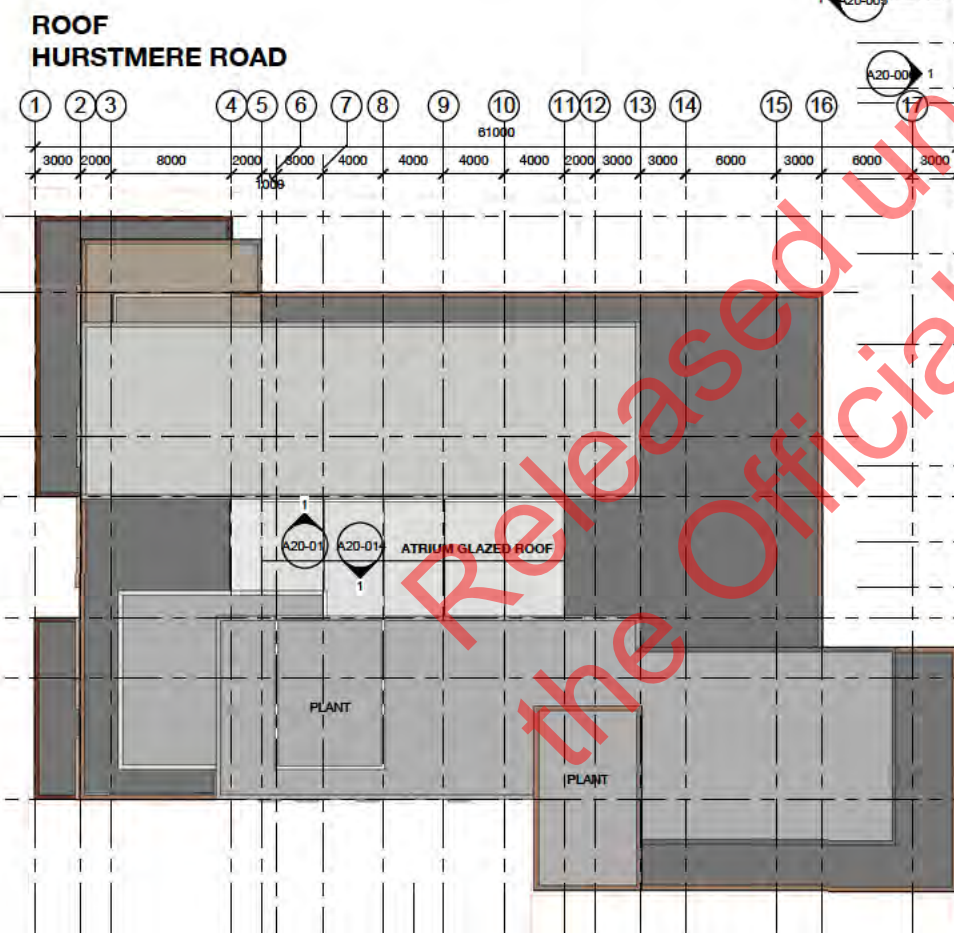
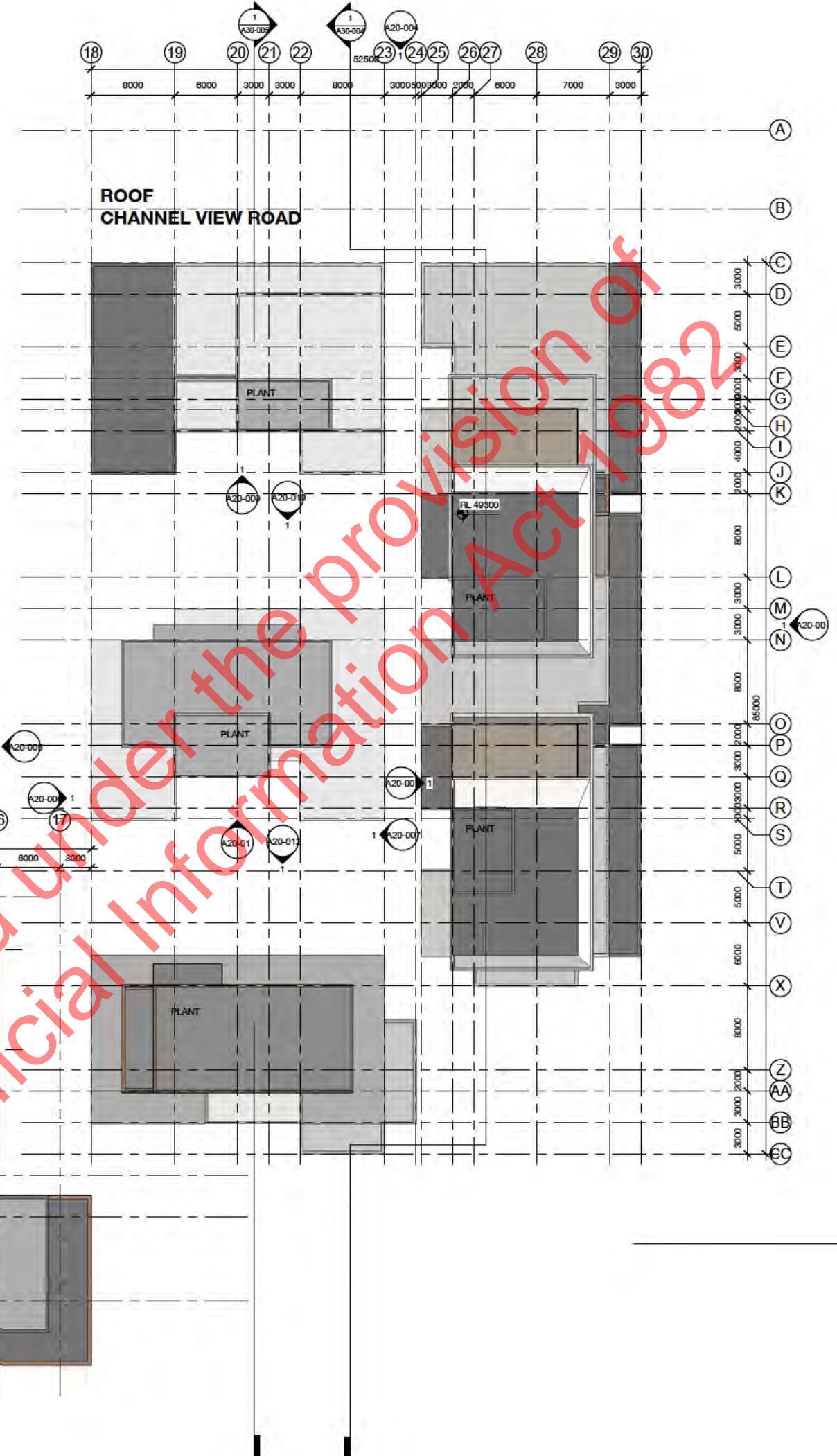
Project No. A5488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland
Sheet
Level L11 - Floor Plan

Original Scale (A1) 1 : 250
Design Moller
Drawn -
Chk -
Issue Date WP
Plot Date 11/08/2021 12:30:11 PM

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0 10 20 50mm

Drawing No. Revision



Project No. A5488
 The North Shore Project
 for
 HND TS Limited
 Address
 Takapuna, Auckland

Sheet
Roof Plan

Original Scale (A1) 1 : 250
 Design Moller
 Drawn -
 Chk -
 Issue Date W P
 Plot Date 11/08/2021 12:30:26 PM

Do not scale drawings.
 All in mill paper size. Not drawing scale.

Metre
 0 10 20 50mm

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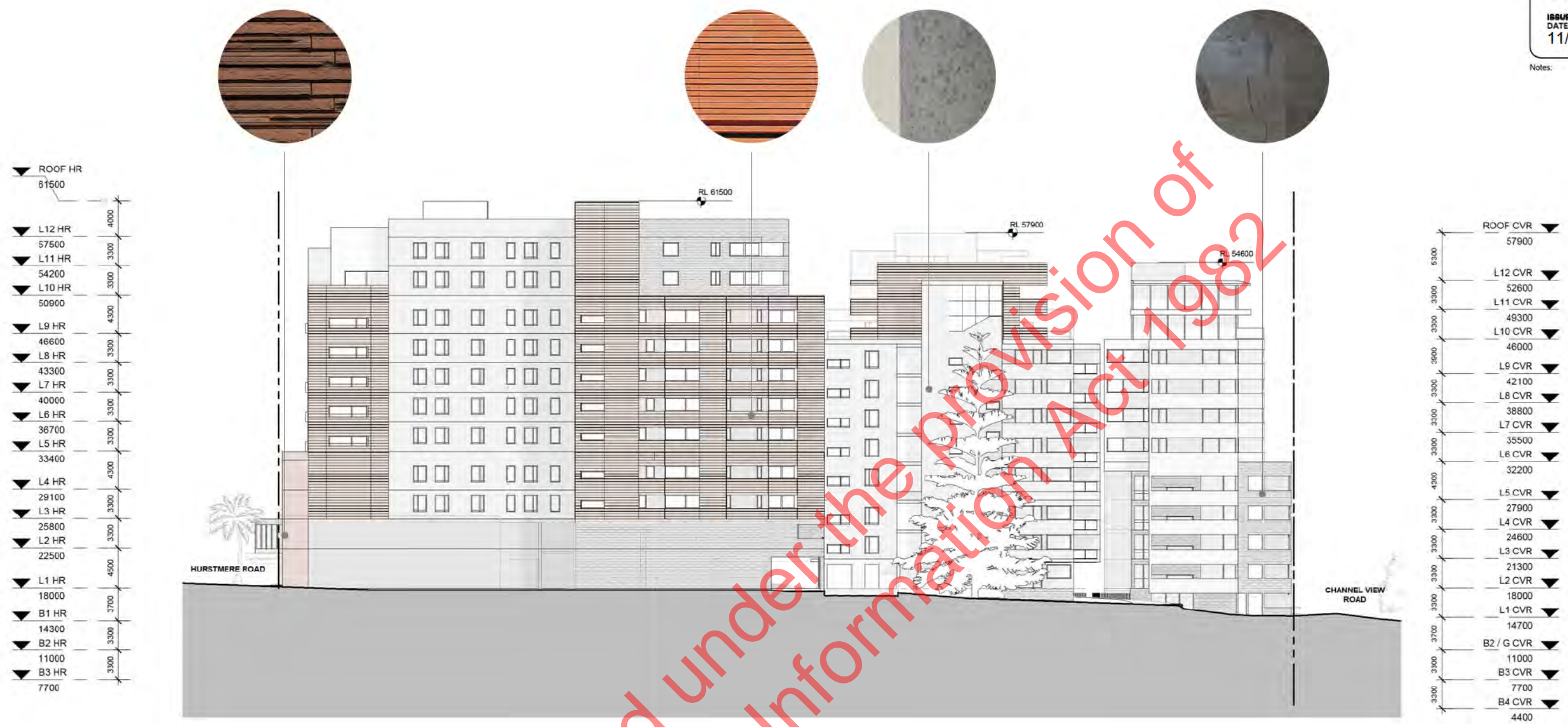
Drawing No. Revision

A01-160



NOTE:

- The site has been modelled using the survey information as provided by ARCLAB (dated December 2020).
- All site levels, Height in Relation to Boundary markers, and Height Limit markers have been taken from the (above) survey information.
- The rolling height method has been employed, where height is measured as the vertical distance between ground level at any point and the highest part of the building or structure immediately above that point as per Figure J1.4.2 Height – rolling height method.



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- NOTE:**
- The site has been modelled using the survey information as provided by ARCLAB (dated December 2020).
 - All site levels, Height in Relation to Boundary markers, and Height Limit markers have been taken from the (above) survey information.
 - The rolling height method has been employed, where height is measured as the vertical distance between ground level at any point and the highest part of the building or structure immediately above that point as per Figure J1.4.2 Height – rolling height method.

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Project No. A5488
The North Shore Project
for
HND TS Limited

Address
Takapuna, Auckland

Sheet
Exterior Elevations - South

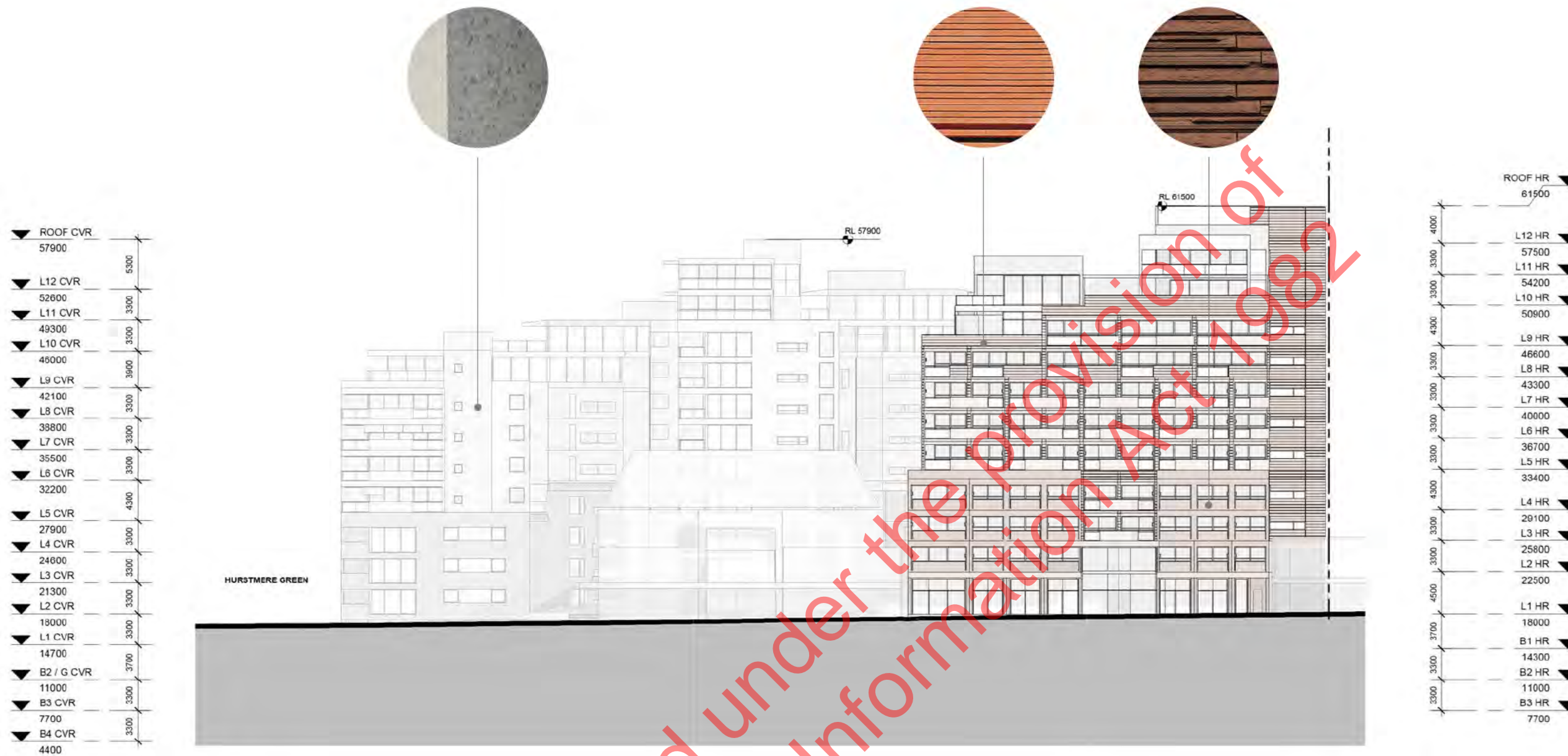
Original Scale (A1): 250
Drawing: Moller
Draw:
Ch:
Issue: WIP
Date: 6/08/2021 4:54:31 pm

Do not scale drawings.
Original paper size: A4 drawing scale

0 10 20 30mm

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Drawing No. Revision
A20-002



NOTE:

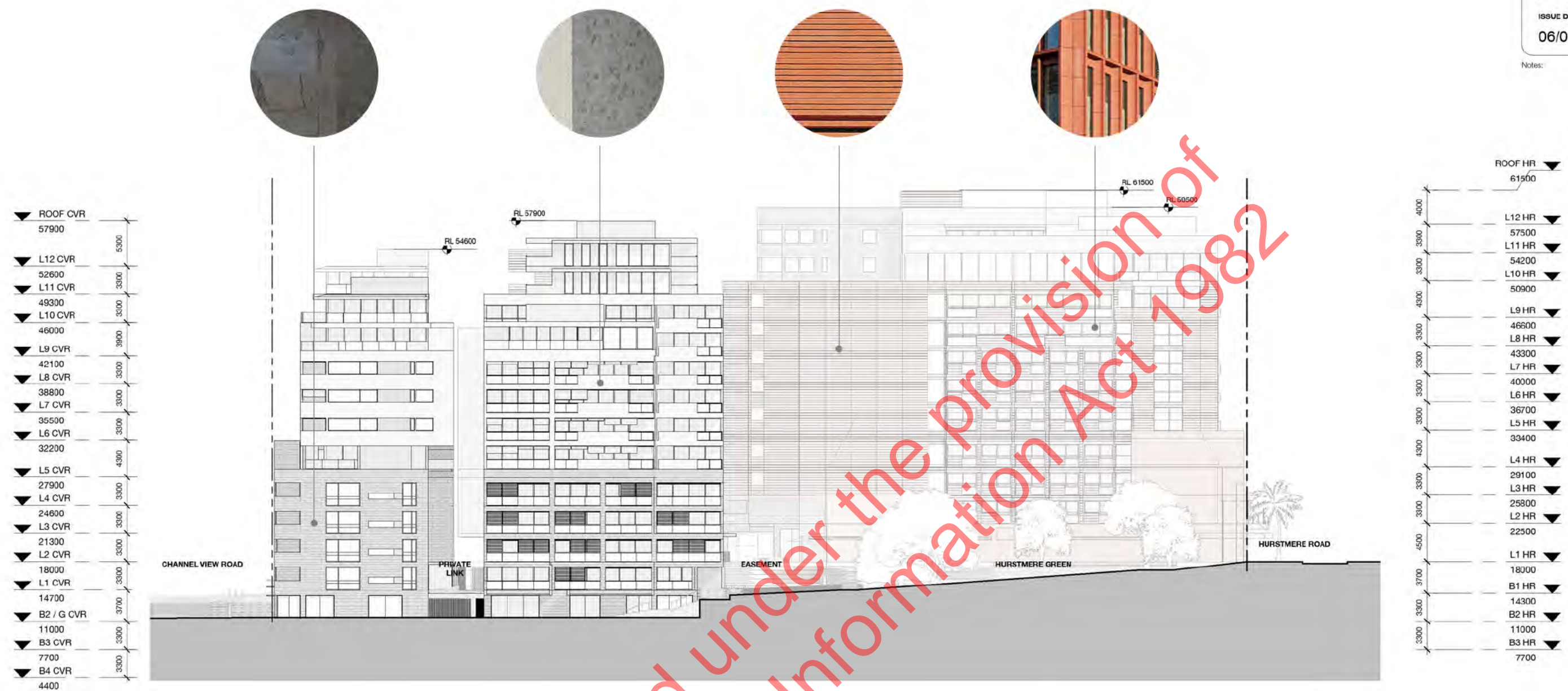
- The site has been modelled using the survey information as provided by ARCLAB (dated December 2020).
- All site levels, Height in Relation to Boundary markers, and Height Limit markers have been taken from the (above) survey information.
- The rolling height method has been employed, where height is measured as the vertical distance between ground level at any point and the highest part of the building or structure immediately above that point as per Figure J1.4.2 Height – rolling height method.



Project No. A5488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland
Sheet
Exterior Elevations - West

Original Scale (A1): 250
Drawing Moller
Drawn
Ch.
Issue WIP
Date 6/08/2021 3:37:01 pm
Do not scale drawings.
Original paper size: A1 drawing scale
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Drawing No. Revision
A20-003



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- The site has been modelled using the survey information as provided by ARCLAB (dated December 2020).
 - All site levels, Height in Relation to Boundary markers, and Height Limit markers have been taken from the (above) survey information.
 - The rolling height method has been employed, where height is measured as the vertical distance between ground level at any point and the highest part of the building or structure immediately above that point as per Figure J1.4.2 Height – rolling height method.

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Project No. A5488
The North Shore Project
for
HND TS Limited

Address
Takapuna, Auckland

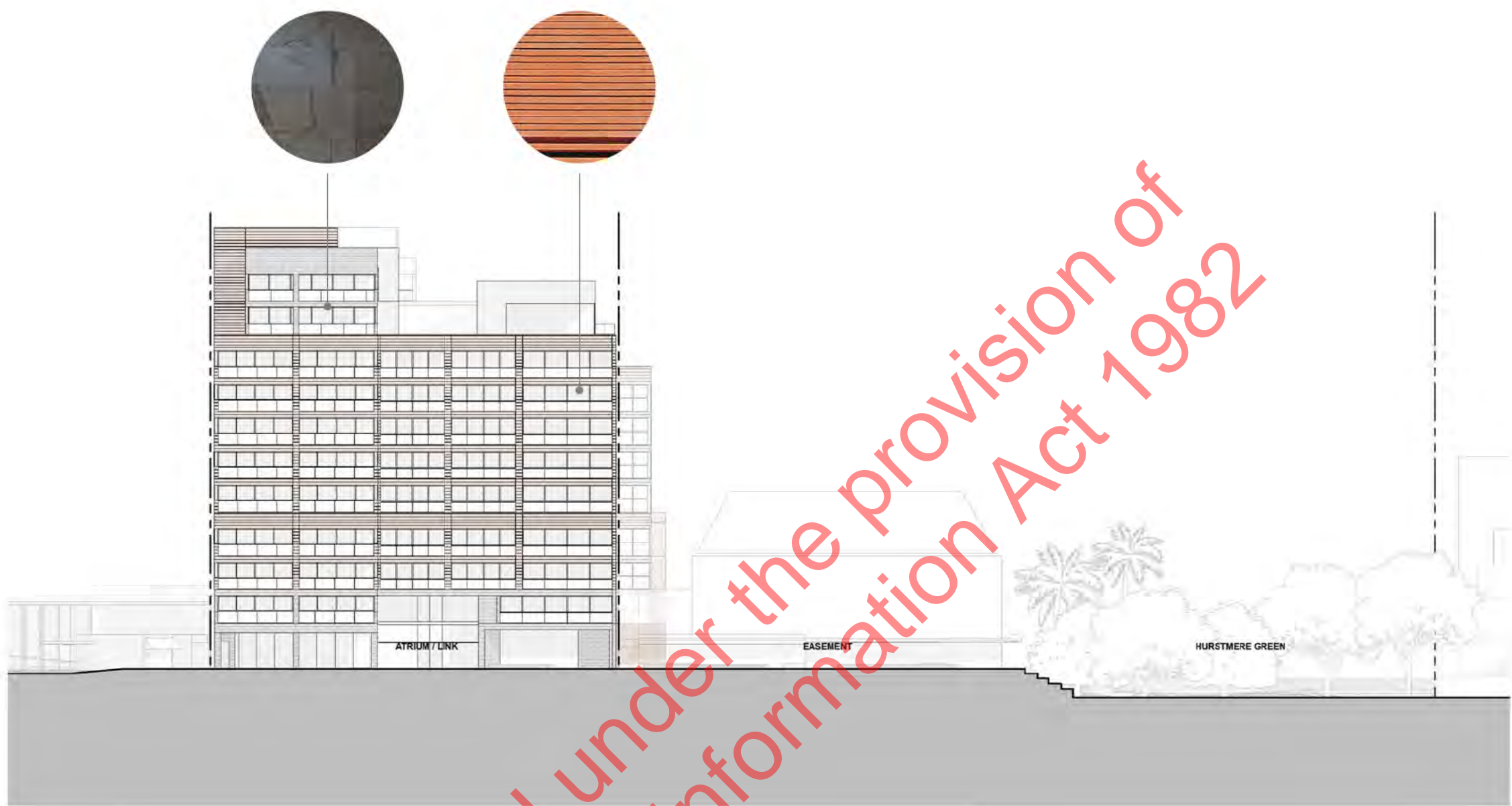
Sheet
Exterior Elevations - North

Original Scale (A1) 1:250
Design: Moller
Drawn:
CHK:
Issue Date: W/P
Plot Date: 6/08/2021 4:53:28 pm

Do not scale drawings.
Original scale: 1:250
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Drawing No. Revision
A20-004

▼ ROOF HR	01500
▼ L12 HR	57500
▼ L11 HR	54200
▼ L10 HR	50900
▼ L9 HR	46600
▼ L8 HR	43300
▼ L7 HR	40000
▼ L6 HR	36700
▼ L5 HR	33400
▼ L4 HR	29100
▼ L3 HR	25800
▼ L2 HR	22500
▼ L1 HR	18000
▼ B1 HR	14300
▼ B2 HR	11000
▼ B3 HR	7700



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- NOTE:**
- The site has been modelled using the survey information as provided by ARCLAB (dated December 2020).
 - All site levels, Height in Relation to Boundary markers, and Height Limit markers have been taken from the (above) survey information.
 - The rolling height method has been employed, where height is measured as the vertical distance between ground level at any point and the highest part of the building or structure immediately above that point as per Figure J1.4.2 Height – rolling height method.

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Project No. A5488
 The North Shore Project
 for
 HND TS Limited

Address
 Takapuna, Auckland

Sheet
 Exterior Elevation - Easement East

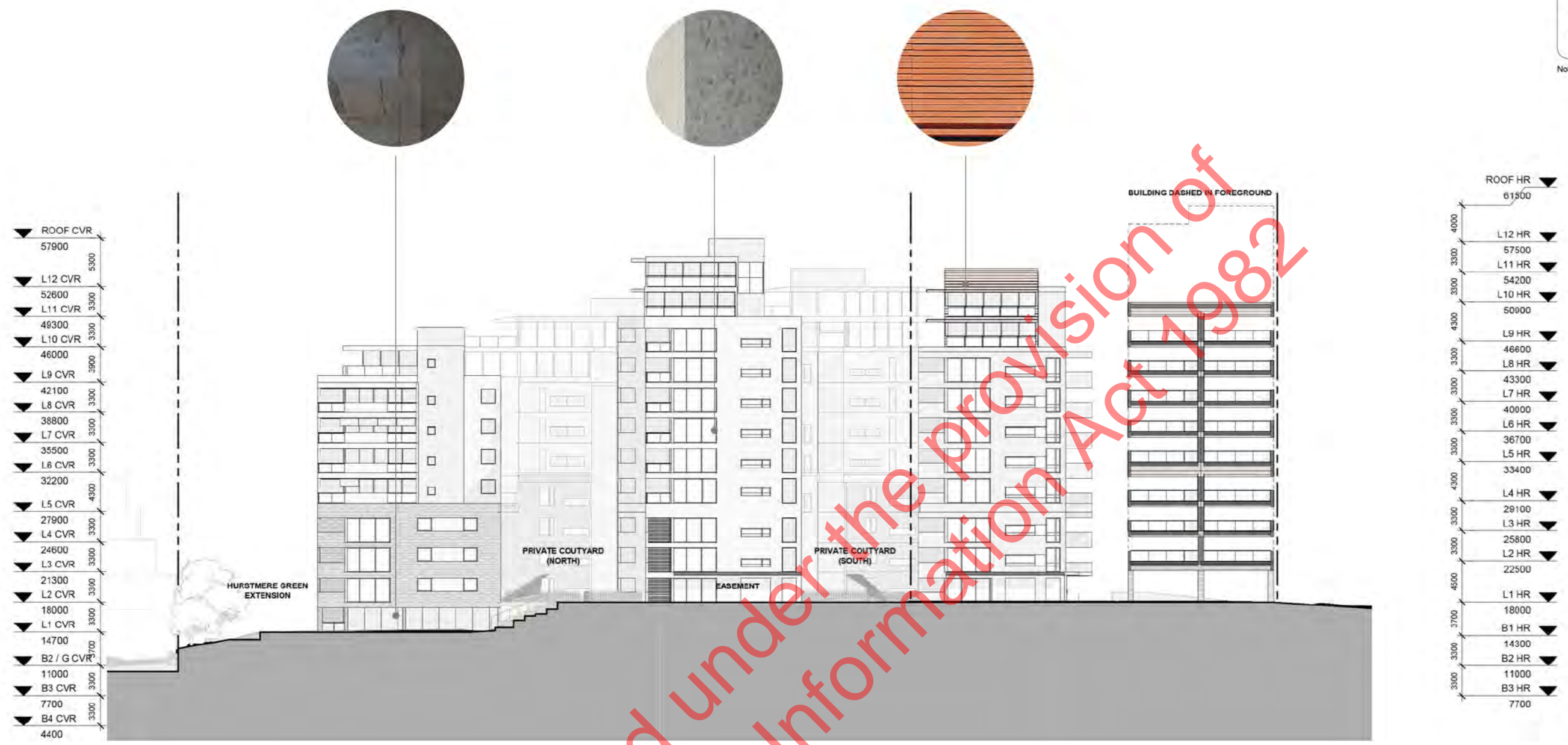
Original Scale (A1): 250
 Drawing: Moller
 Drawn: -
 Check: -
 Issue: WIP
 Date: 6/08/2021 3:37:47 pm

Do not scale drawings.
 Original paper size: A1 drawing scale

0 10 20 30mm

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Project No. A5488
The North Shore Project
for
HND TS Limited

Address
Takapuna, Auckland

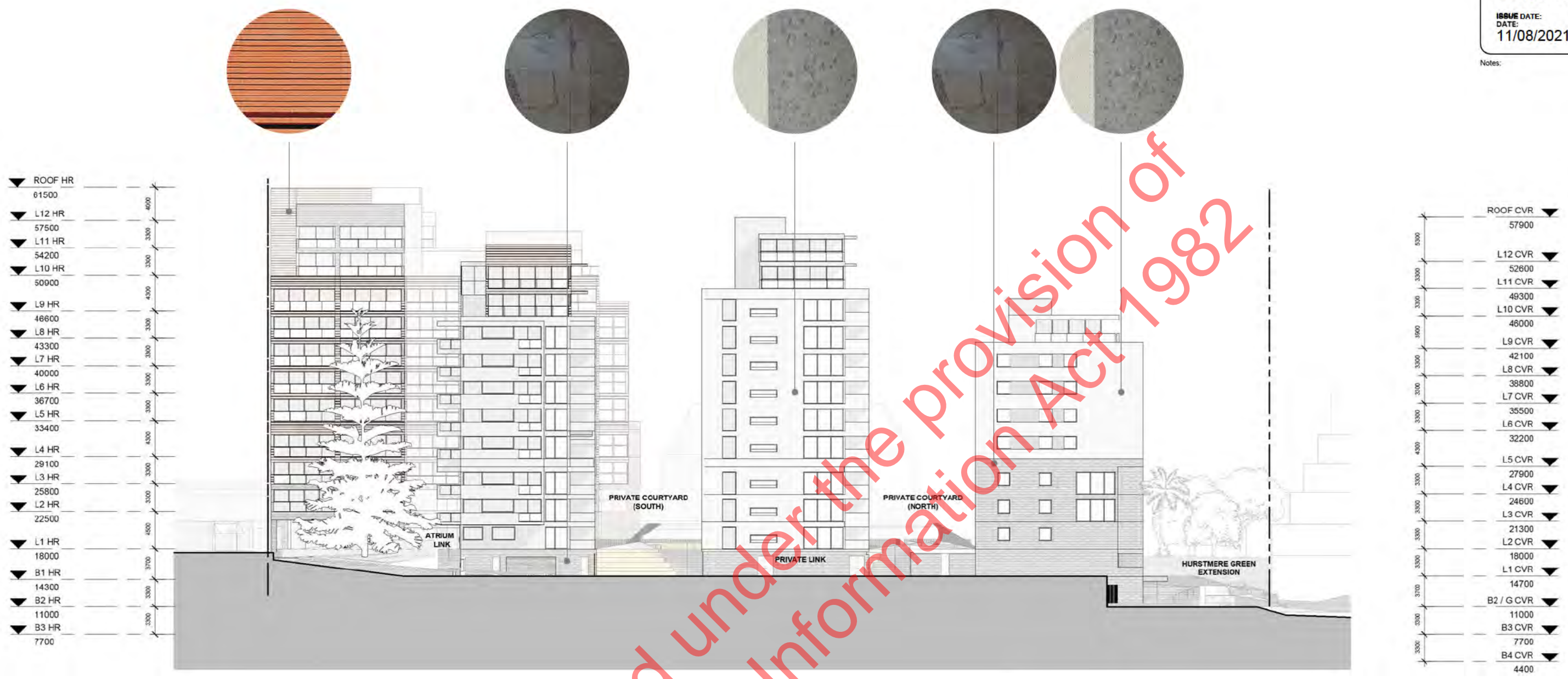
Sheet
Exterior Elevation - Easement West

Original Scale (A1): 250
Drawing: Moller
Drawn:
Ch:
Issue: WIP
Date: 6/08/2021 3:31:56 pm
Page:

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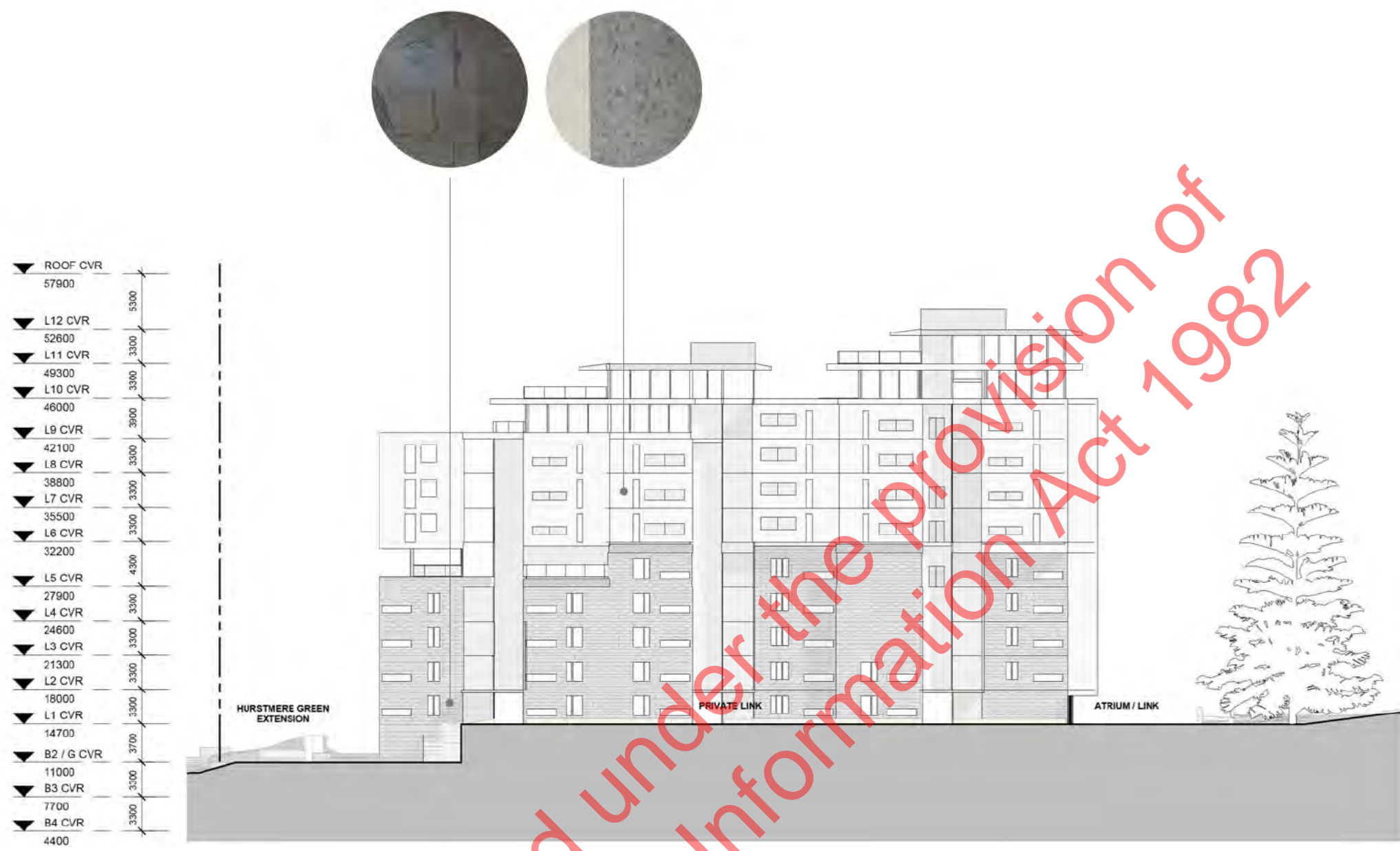


Project No. A5488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland

Sheet
Exterior Elevation - Private Link East

Original Scale (A1): 250
Drawing: Moller
Draw:
Ch:
Issue: WIP
Date: 6/08/2021 3:38:15 pm
Do not scale drawings.
Original paper size: Full drawing scale

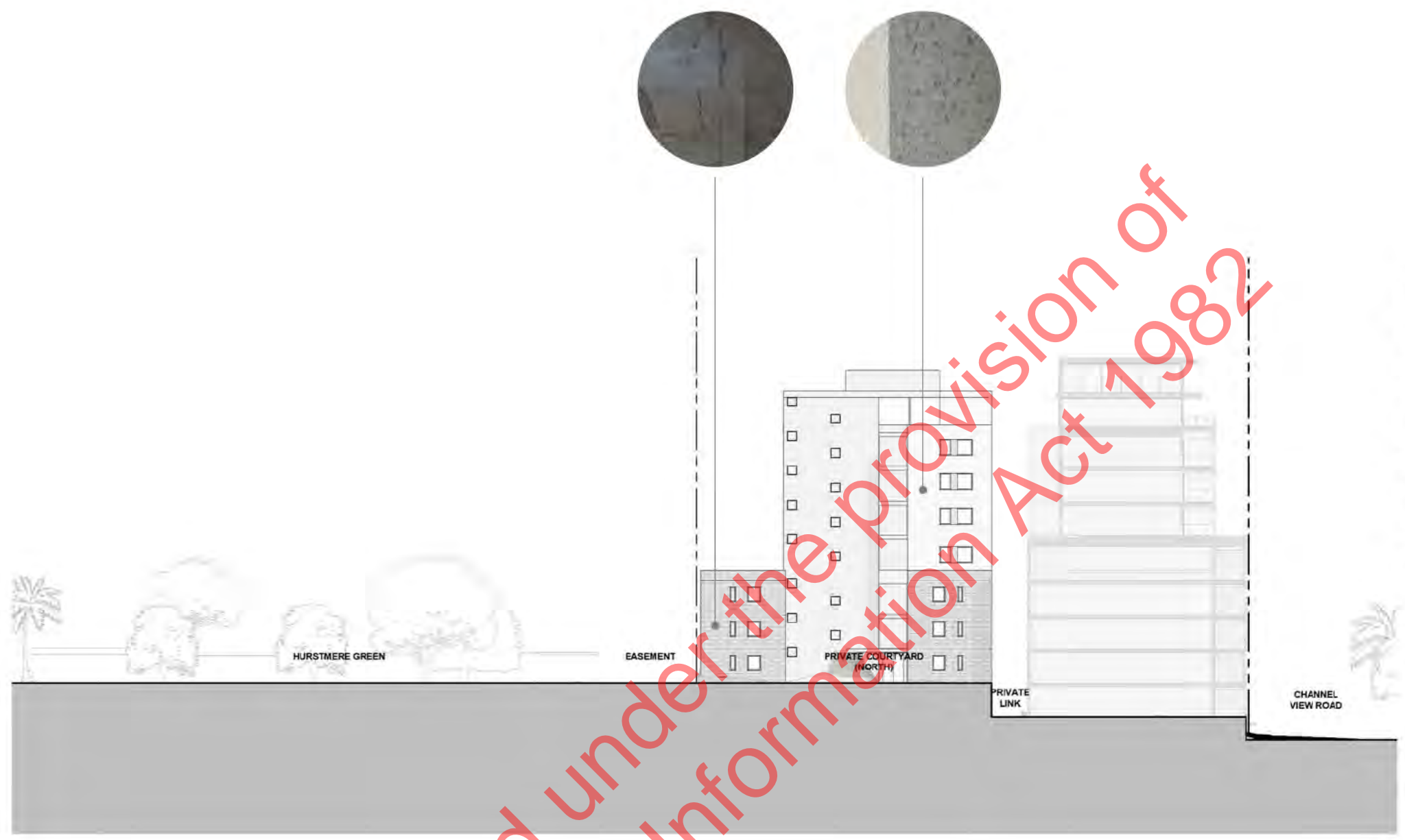
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▼ L12 HR	57500	3300
▼ L11 HR	54200	3300
▼ L10 HR	50900	4300
▼ L9 HR	46600	3300
▼ L8 HR	43300	3300
▼ L7 HR	40000	3300
▼ L6 HR	36700	3300
▼ L5 HR	33400	4300
▼ L4 HR	26100	3300
▼ L3 HR	25800	3300
▼ L2 HR	22500	4500
▼ L1 HR	18000	3700
▼ B1 HR	14300	3300
▼ B2 HR	11000	3300
▼ B3 HR	7700	



▼ ROOF CVR	57900
▼ L12 CVR	52000
▼ L11 CVR	49300
▼ L10 CVR	46000
▼ L9 CVR	42100
▼ L8 CVR	38800
▼ L7 CVR	35500
▼ L6 CVR	32200
▼ L5 CVR	27900
▼ L4 CVR	24000
▼ L3 CVR	21300
▼ L2 CVR	18000
▼ L1 CVR	14700
▼ B2 / G CVR	11000
▼ B3 CVR	7700
▼ B4 CVR	4400

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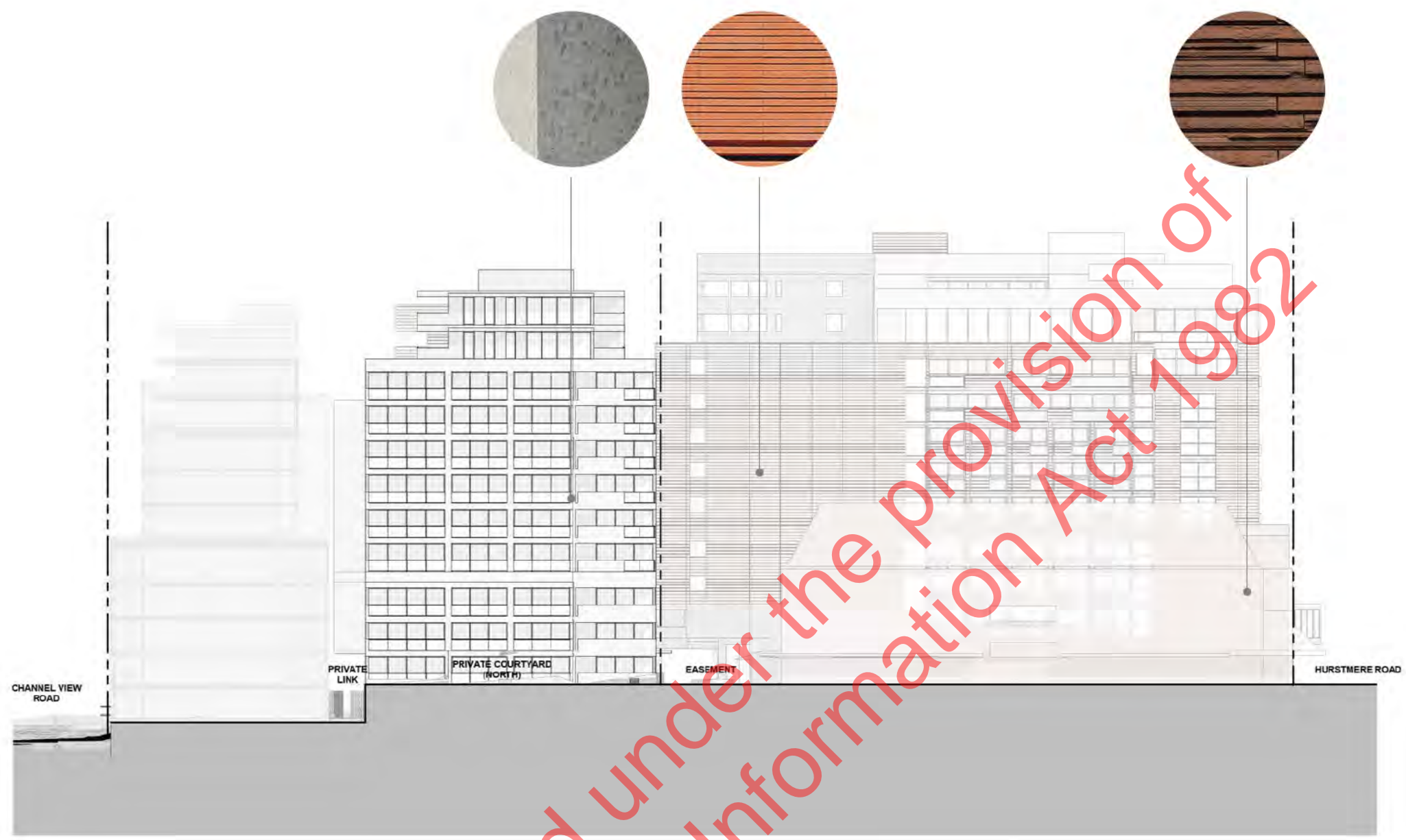


Project No. A5488
 The North Shore Project
 for
 HND TS Limited
 Address
 Takapuna, Auckland
 Sheet
 Exterior Elevation - Building 4 South

Original Scale (A1): 250
 Drawing Moller
 Drawn
 Checked
 Issue WIP
 Date 6/08/2021 3:36:23 pm
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 Original paper size: A2 drawing scale
 0 10 20 30mm
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Drawing No. A20-009
 Revision

▼ ROOF CVR	57900
▼ L12 CVR	52800
▼ L11 CVR	49300
▼ L10 CVR	46000
▼ L9 CVR	42100
▼ L8 CVR	38800
▼ L7 CVR	35500
▼ L6 CVR	32200
▼ L5 CVR	27900
▼ L4 CVR	24600
▼ L3 CVR	21300
▼ L2 CVR	18000
▼ L1 CVR	14700
▼ B2 / G CVR	11000
▼ B3 CVR	7700
▼ B4 CVR	4400



▼ ROOF HR	61500
▼ L12 HR	57500
▼ L11 HR	54200
▼ L10 HR	50900
▼ L9 HR	46600
▼ L8 HR	43300
▼ L7 HR	40000
▼ L6 HR	36700
▼ L5 HR	33400
▼ L4 HR	29100
▼ L3 HR	25800
▼ L2 HR	22500
▼ L1 HR	18000
▼ B1 HR	14300
▼ B2 HR	11000
▼ B3 HR	7700

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The North Shore Project
for
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Address
Takapuna, Auckland

Sheet
Exterior Elevation - Building 3 North

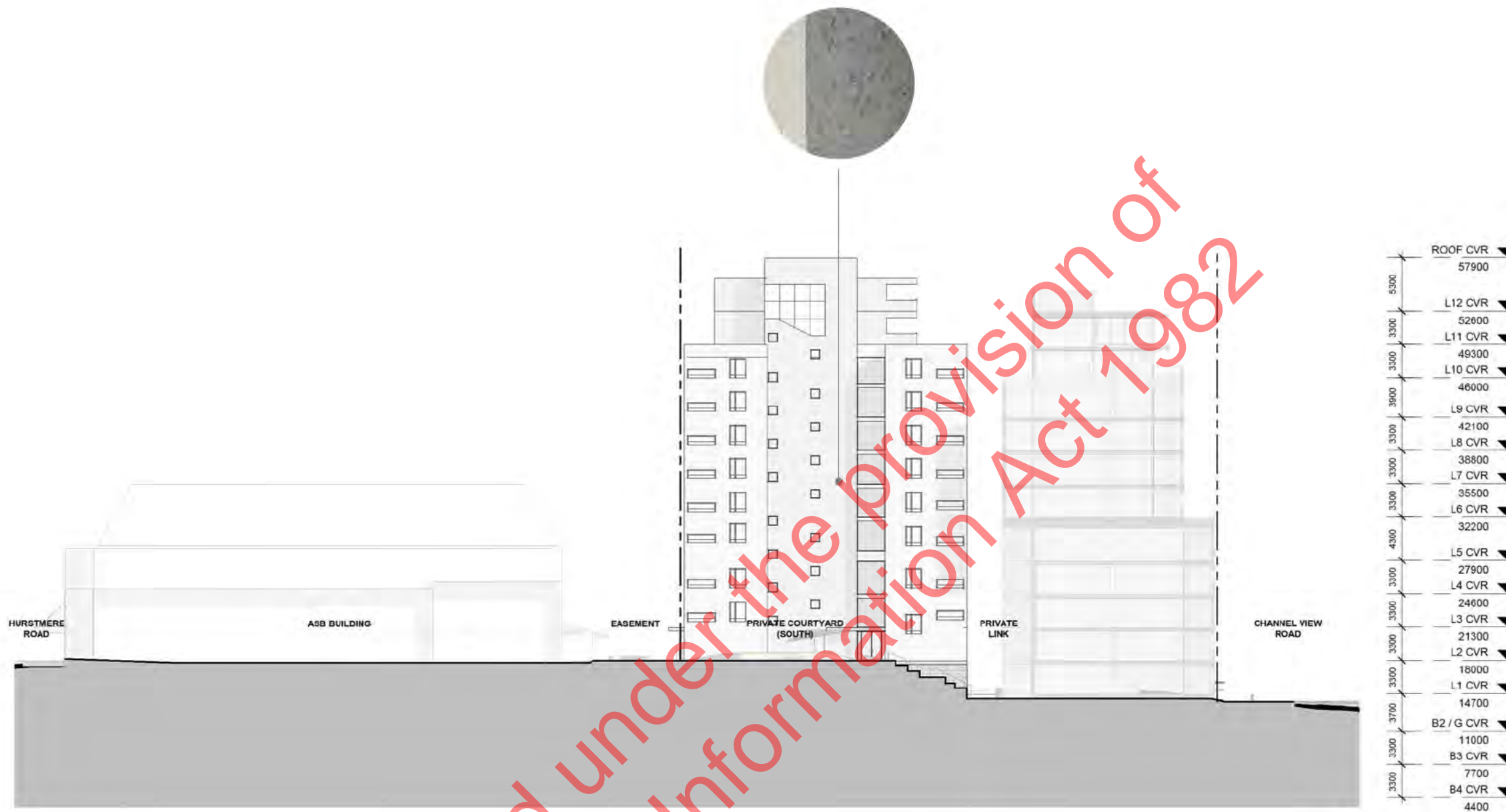
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Date: -
By: -
Issue: WIP
Date: 06/08/2021 3:38:44 pm
Page: -

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0 10 20 50mm

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Revision



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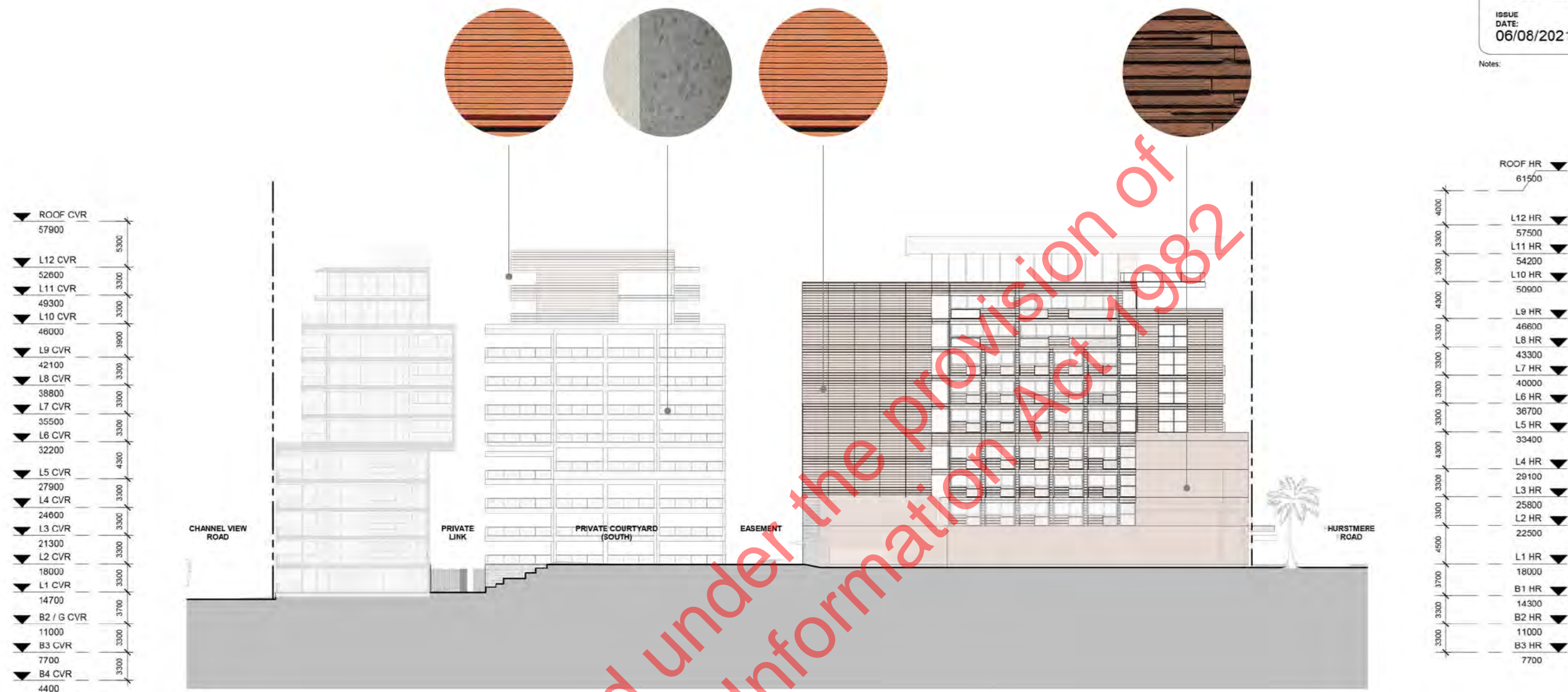
Project No. A5488
 The North Shore Project
 for
 HND TS Limited
 Address
 Takapuna, Auckland
 Sheet
 Exterior Elevation - Building 3 South

Original Scale (A1): 250
 Drawing Moller
 Drawn
 Checked
 Issue WIP
 Date 06/08/2021 3:38:49 pm
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 A20-011

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DATE:
06/08/2021

Notes:



▼ ROOF CVR	57900
▼ L12 CVR	52600
▼ L11 CVR	49300
▼ L10 CVR	46000
▼ L9 CVR	42100
▼ L8 CVR	38800
▼ L7 CVR	35500
▼ L6 CVR	32200
▼ L5 CVR	27900
▼ L4 CVR	24600
▼ L3 CVR	21300
▼ L2 CVR	18000
▼ L1 CVR	14700
▼ B2 / G CVR	11000
▼ B3 CVR	7700
▼ B4 CVR	4400

▼ ROOF HR	61500
▼ L12 HR	57500
▼ L11 HR	54200
▼ L10 HR	50900
▼ L9 HR	46600
▼ L8 HR	43300
▼ L7 HR	40000
▼ L6 HR	36700
▼ L5 HR	33400
▼ L4 HR	29100
▼ L3 HR	25800
▼ L2 HR	22500
▼ L1 HR	18000
▼ B1 HR	14300
▼ B2 HR	11000
▼ B3 HR	7700

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Project No. A5488

The North Shore Project

for
HND TS Limited

Address
Takapuna, Auckland

Sheet
Exterior Elevation - Building 2 North

Original Scale (A1): 250
Drawing: Moller
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Ch:
Issue: WIP
Date: 6/08/2021 3:38:01 pm

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Drawing No. Revision

A20-012



▼ ROOF HR	61600
▼ L12 HR	57500
▼ L11 HR	54200
▼ L10 HR	50900
▼ L9 HR	48600
▼ L8 HR	43300
▼ L7 HR	40000
▼ L6 HR	36700
▼ L5 HR	33400
▼ L4 HR	29100
▼ L3 HR	25800
▼ L2 HR	22500
▼ L1 HR	18000
▼ B1 HR	14300
▼ B2 HR	11000
▼ B3 HR	7700

▼ ROOF CVR	57900
▼ L12 CVR	52600
▼ L11 CVR	49300
▼ L10 CVR	46000
▼ L9 CVR	42100
▼ L8 CVR	38800
▼ L7 CVR	35500
▼ L6 CVR	32200
▼ L5 CVR	27900
▼ L4 CVR	24600
▼ L3 CVR	21300
▼ L2 CVR	18000
▼ L1 CVR	14700
▼ B2 / G CVR	11000
▼ B3 CVR	7700

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The North Shore Project

for
HND TS Limited

Address
Takapuna, Auckland

Sheet
Atrium / Link Elevation - South

Original Scale (A1): 250
 Desig: Moller
 Draw: -
 Ch: -
 Issue: WIP
 Date: 6/08/2021 4:26:38 pm

Drawn scale drawings:
 Original paper size: Full drawing scale: 0 10 20 50mm

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Drawing No. Revision

A20-013



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Project No. A5488
The North Shore Project
 for
HND TS Limited
 Address
Takapuna, Auckland
 Sheet
Atrium / Link Elevation - North

Original Scale (A1): 250
 Desig: Moller
 Draw:
 Ch:
 Issue: WIP
 Date: 6/08/2021 4:33:03 pm
 Drawn scale drawings:
 Original paper size: A1 drawing scale: 0 10 20 50mm
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Drawing No. **A20-014** Revision

Notes:

	1 BED APT.		Pool / Gym
	2 BED APT.		Basement Carpark
	3 BED APT.		Bike Storage
	3 BED PH.		Waste Room
	Serviced Apartment		Plant / Storage
	Office		Lobby
	BOH		Stair
	Retail		Lift
	Restaurant		



ROOF CVR	57900
L12 CVR	52600
L11 CVR	49300
L10 CVR	46000
L9 CVR	42100
L8 CVR	38800
L7 CVR	35500
L6 CVR	32200
L5 CVR	27900
L4 CVR	24600
L3 CVR	21300
L2 CVR	18000
L1 CVR	14700
B2 / G CVR	11000
B3 CVR	7700
B4 CVR	4400

- NOTE:
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The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland

Sheet
Cross Section A

Original Scale (A1) 250
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Draw -
En -
Issue WIP
Date 6/08/2021 4:49:48 pm

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A30-001

Notes:

	1 BED APT.		Pool / Gym
	2 BED APT.		Basement Carpark
	3 BED APT.		Bike Storage
	3 BED PH.		Waste Room
	Serviced Apartment		Plant / Storage
	Office		Lobby
	BOH		Stair
	Retail		Lift
	Restaurant		

▼ ROOF CVR	57900	
▼ L12 CVR	52600	5100
▼ L11 CVR	49300	3300
▼ L10 CVR	46000	3100
▼ L9 CVR	42100	3900
▼ L8 CVR	38800	3300
▼ L7 CVR	35500	3300
▼ L6 CVR	32200	3300
▼ L5 CVR	27900	4300
▼ L4 CVR	24600	3300
▼ L3 CVR	21300	3300
▼ L2 CVR	18000	3300
▼ L1 CVR	14700	3700
▼ B2 / G CVR	1000	3300
▼ B3 CVR	7700	
▼ B4 CVR	4400	3300



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Project No. A5488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland
Sheet
Cross Section B

Original Scale (A1)	250
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Draw	-
En	-
Issue	WIP
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N o t e :

1 BED APT.	Pool / Gym
2 BED APT.	Basement Carpark
3 BED APT.	Bike Storage
3 BED PH.	Waste Room
Serviced Apartment	Plant / Storage
Office	Lobby
BOH	Stair
Retail	Lift
Restaurant	

▼ ROOF HR	61500
▼ L12 HR	57500
▼ L11 HR	54200
▼ L10 HR	50900
▼ L9 HR	46600
▼ L8 HR	43300
▼ L7 HR	40000
▼ L6 HR	36700
▼ L5 HR	33400
▼ L4 HR	29100
▼ L3 HR	25800
▼ L2 HR	22500
▼ L1 HR	18000
▼ B1 HR	14300
▼ B2 HR	11000



▼ ROOF CVR	57900
▼ L12 CVR	52600
▼ L11 CVR	49300
▼ L10 CVR	46000
▼ L9 CVR	42100
▼ L8 CVR	38800
▼ L7 CVR	35500
▼ L6 CVR	32200
▼ L5 CVR	27900
▼ L4 CVR	24600
▼ L3 CVR	21300
▼ L2 CVR	18000
▼ L1 CVR	14700
▼ B2 / G CVR	11000
▼ B3 CVR	7700
▼ B4 CVR	4400

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Pr A 48

The North Shore Project
for
HN S Limited

Address
Takapuna Auckland

Site
Cross Section C

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Checked
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Print Date 10/01/2021 3:43:32 PM

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Drawing N Revision

A30-003

CONCEPT DESIGN
ISSUE DATE:
11/0 20 1

- N t :
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift

▼ ROOF HR	61500
▼ L12 HR	57500
▼ L11 HR	54200
▼ L10 HR	50900
▼ L9 HR	46600
▼ L8 HR	43300
▼ L7 HR	40000
▼ L6 HR	36700
▼ L5 HR	33400
▼ L4 HR	29100
▼ L3 HR	25800
▼ L2 HR	22500
▼ L1 HR	18000
▼ B1 HR	14300
▼ B2 HR	11000



▼ ROOF CVR	57900
▼ L12 CVR	52600
▼ L11 CVR	49300
▼ L10 CVR	46000
▼ L9 CVR	42100
▼ L8 CVR	38800
▼ L7 CVR	35500
▼ L6 CVR	32200
▼ L5 CVR	27900
▼ L4 CVR	24600
▼ L3 CVR	21300
▼ L2 CVR	18000
▼ L1 CVR	14700
▼ B2 / G CVR	11000
▼ B3 CVR	7700
▼ B4 CVR	4400

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Pr A 48
for
The North Shore Project
HN S Limited
Address
Takapuna Auckland
Site
Long Section 1

Original Scale (A1) 1:250
Design Mo
Drawn
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Print Date 10/02/21 3:41:58 PM
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Drawing N Revision

A30-004

CONCEPT DESIGN
 ISSUE DATE:
 11/0 20 1

- Notes:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift

ROOF CVR	57900
L12 CVR	52600
L11 CVR	49300
L10 CVR	46000
L9 CVR	42100
L8 CVR	38800
L7 CVR	35500
L6 CVR	32200
L5 CVR	27900
L4 CVR	24600
L3 CVR	21300
L2 CVR	18000
L1 CVR	14700
B2 / G CVR	11000
B3 CVR	7700
B4 CVR	4400



ROOF HR	61500
L12 HR	57500
L11 HR	54200
L10 HR	50900
L9 HR	46600
L8 HR	43300
L7 HR	40000
L6 HR	36700
L5 HR	33400
L4 HR	29100
L3 HR	25800
L2 HR	22500
L1 HR	18000
B1 HR	14300
B2 HR	11000

- NOTE:
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The North Shore Project
 for
 HNS Limited
 Address
 Takapuna Auckland
 Site
 Long Section 2

Original Scale (A1) 1:250
 Design: Mo
 Drawn: -
 Check: -
 Issue Date: W
 Plot Date: 10/02/2013 4:59 PM

- Notes:
- 1 BED APT.
 - 2 BED APT.
 - 3 BED APT.
 - 3 BED PH.
 - Serviced Apartment
 - Office
 - BOH
 - Retail
 - Restaurant
 - Pool / Gym
 - Basement Carpark
 - Bike Storage
 - Waste Room
 - Plant / Storage
 - Lobby
 - Stair
 - Lift



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Project No. A5488
The North Shore Project
for
HND TS Limited
Address
Takapuna, Auckland

Sheet
Long Section 3

Original Scale (A1) 250
Desig Moller
Draw -
En -
Issue WIP
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A30-006



MfE FAST TRACK RESPONSE / UPDATED 3D IMAGES

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- PENTHOUSE CLADDING
BRONZE COLOURED SOLID
ALUMINIUM CLADDING AND
LOUVRES. FULL HEIGHT FLUSH
GLASS CLADDING INCLUDING
CERAMIC FRIT PATTERN
- PRECAST CONCRETE WITH WHITE
MARBLE CHIP PANELS CLADDING
- TOUGHENED GLASS BALUSTRADES
WITH SS STANCHION AND
HANDRAILS
- PRECAST CONCRETE AND/OR GRC
PRECAST PANELS OVER STEEL
STRUCTURE
- BASALT STONE CLADDING OVER
CONCRETE AND STEEL STRUCTURE

NORFOLK ISLAND PLAZA TO THE STRAND CONNECTS
PINE (NOTABLE TREE) TO THE EAST AND SOUTH

RE ENTRANT VOIDS CLAD IN TERRACOTTA
RAINSREEN CLADDING SYSTEM

CHANNEL VIEW ROAD ENTRANCE GLASS
CURTAINWALL WITH SELECTED STONE CLADDING



PENTHOUSE CLADDING
BRONZE COLOURED SOLID
ALUMINIUM CLADDING AND
LOUVRES. FULL HEIGHT FLUSH
GLASS CLADDING INCLUDING
CERAMIC FRIT

PRECAST CONCRETE WITH WHITE
MARBLE CHIP PANELS CLADDING
OVER STRUCTURE

RETRACTABLE BLINDS TO BALCONY
FRONTS

SELECTED ALUMINIUM WINDOW
SUITE IN BASALT STONE CLADDING
RAINSCREEN WALL SYSTEM

CHANNEL VIEW ROAD ENTRANCE GLASS
CURTAINWALL WITH SELECTED STONE CLADDING

ACTIVATED RETAIL EDGE

AL SHOPFRONT AND GLAZING TO
RETAIL UNITS



PENTHOUSE UNITS TO BE PRECAST CONCRETE WALL ELEMENTS WITH WHITE MARBLE CHIP FINISH WITH AL WINDOWS AND DOORS

BOUNDARY WALL A MIX OF COLOURED CONCRETE PRECAST WALL ELEMENTS & TERRACOTTA CLADDING SYSTEMS

BOUNDARY WALL A MIX OF COLOURED CONCRETE PRECAST WALL ELEMENTS & TERRACOTTA CLADDING SYSTEMS

TERRACOTTA CLADDING TO UPPER LEVEL BALCONIES WITH GLASS AND TERRACOTTA BALUSTRADES, SS HANDRAILS

BRICK VENEER CLADDING OVER CONCRETE AND STEEL FRAME INCLUDING BALUSTRADES TO FIRST THREE LEVELS

ALLOW FOR DIFFERENT COLOURED AND PROUD PRECAST WALL ELEMENTS

STREET CANOPY SELECTED 'BRONZE' COLOURED SOLID AL CLADDING OVER STEEL FRAME

BRICK VENEER CLADDING OVER CONCRETE AND STEEL FRAME INCLUDING BALUSTRADES TO FIRST THREE LEVELS

GLASS CANOPY TO CENTRAL CANOPY ROOF AND SIDES WITH AL CLAD STRUCTURAL BEAMS

ACTIVATED RETAIL EDGE AL SHOPFRONT GLAZING WITHIN STEEL EXPOSED FRAME WITHIN BRICK CLAD PORTAL FRAME TO SHOPFRONTS



BRICK VENEER CLADDING OVER CONCRETE AND STEEL FRAME INCLUDING BALUSTRADES TO FIRST THREE LEVELS HIDDEN BEHIND ASB BUILDING

PENTHOUSE UNITS TO BE PLASTERED CONCRETE WALL ELEMENTS OR PRECAST GRC PANELS WITH AL WINDOWS AND DOORS

BOUNDARY WALL A MIX OF COLOURED CONCRETE PRECAST WALL ELEMENTS & TERRACOTTA CLADDING SYSTEMS

SELECTED ALUMINIUM WINDOW SUITE IN TERRACOTTA RAINSCREEN SYSTEM

TAKAPUNA WAR MEMORIAL PLAZA VIEW



SOUTHERN VIEW OF HURSTMERE ROAD BUILDING

PENTHOUSE UNIT CLAD IN
BASALT STONE CLADDING OVER
STRUCTURE WITH AL WINDOWS
AND DOORS

PENTHOUSE UNIT CLAD WITH
TERRACOTTA CLADDING SYSTEMS

BOUNDARY WALL A MIX OF
COLOURED CONCRETE PRECAST
WALL ELEMENTS & TERRACOTTA
CLADDING SYSTEMS

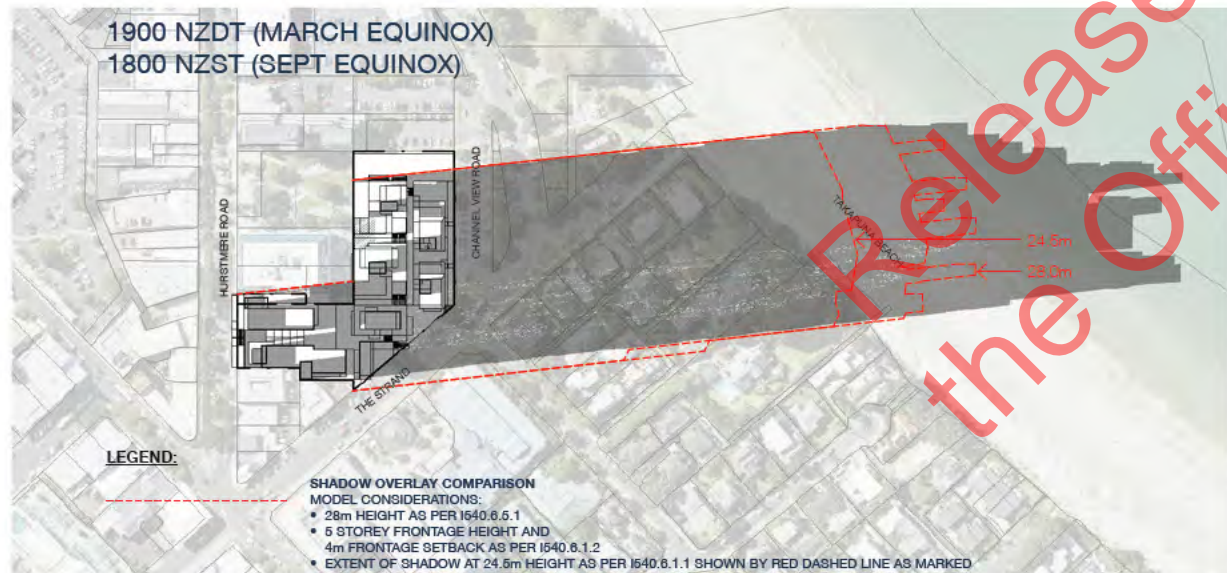




MfE FAST TRACK RESPONSE / SHADING DIAGRAMS

Released under the provision of
the Official Information Act 1982

SUN STUDIES — EQUINOX 22 MARCH/22 SEPTEMBER



LEGEND:

SHADOW OVERLAY COMPARISON

MODEL CONSIDERATIONS:

- 28m HEIGHT AS PER I540.6.5.1
- 5 STOREY FRONTAGE HEIGHT AND 4m FRONTAGE SETBACK AS PER I540.6.1.2
- EXTENT OF SHADOW AT 24.5m HEIGHT AS PER I540.6.1.1 SHOWN BY RED DASHED LINE AS MARKED
- HEIGHT IN RELATION TO BOUNDARY PLANE AT HURSTMERE GREEN ADJACENT BOUNDARY
- EXISTING NORFOLK PINE CANOPY ZONE EXCLUDED FROM BUILDING MASS
- THROUGH-SITE LANE AT 6M WIDTH AS PER I540.6.5.4 LOCATED WITHIN ZONE INDICATED IN I540.10.3 PRECINCT PLAN 3
- INCLUDES ROOF FEATURES SHOWN TO PROJECT 3m ABOVE ROOF AS ALLOWED AS EXCLUSIONS IN AUP J1 DEFINITIONS

THE NORTH SHORE PROJECT / MfE FAST TRACK RESPONSE 11.08.2021
© Moller Architects 2021

22 MARCH 2021
SUNRISE: 7.25AM (NZDT)
SUNSET: 7.29PM (NZDT)

SUNRISE & SUNSET TIMES

22 SEPTEMBER 2021
SUNRISE: 6.10AM (NZST)
SUNSET: 6.17PM (NZST)

Ref: <https://www.timeanddate.com/sun/new-zealand/auckland>

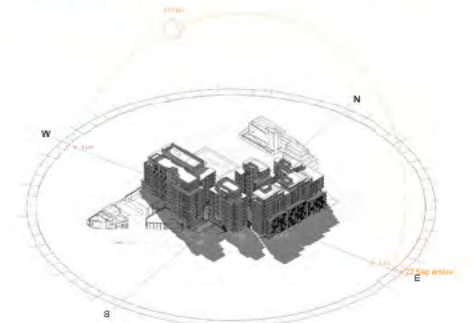
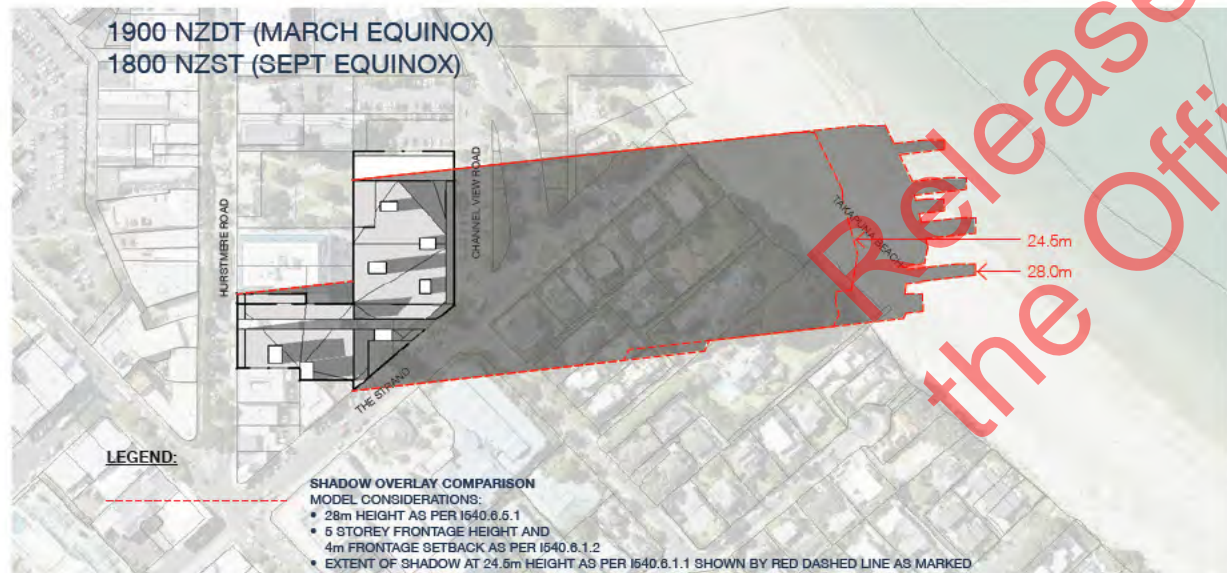


Fig. 1

NOTE:

- The site has been modelled using the survey information as provided by ARCLAB (dated December 2020).
- The shadows have been generated using the sunshading software in Revit 2021. The level is set to L1 at Hurstmere Road, RL 18000. Daylight savings time is noted where applicable.
- The proposed scheme has been modelled as shown in Fig. 1.

SUN STUDIES — EQUINOX 22 MARCH/22 SEPTEMBER (COMPLYING SCHEME)



LEGEND:

SHADOW OVERLAY COMPARISON

MODEL CONSIDERATIONS:

- 28m HEIGHT AS PER I540.6.5.1
- 5 STOREY FRONTAGE HEIGHT AND 4m FRONTAGE SETBACK AS PER I540.6.1.2
- EXTENT OF SHADOW AT 24.5m HEIGHT AS PER I540.6.1.1 SHOWN BY RED DASHED LINE AS MARKED
- HEIGHT IN RELATION TO BOUNDARY PLANE AT HURSTMERE GREEN ADJACENT BOUNDARY
- EXISTING NORFOLK PINE CANOPY ZONE EXCLUDED FROM BUILDING MASS
- THROUGH-SITE LANE AT 5M WIDTH AS PER I540.6.5.4 LOCATED WITHIN ZONE INDICATED IN I540.10.3 PRECINCT PLAN 3
- INCLUDES ROOF FEATURES SHOWN TO PROJECT 3m ABOVE ROOF AS ALLOWED AS EXCLUSIONS IN AUP J1 DEFINITIONS

THE NORTH SHORE PROJECT / MfE FAST TRACK RESPONSE 11.08.2021
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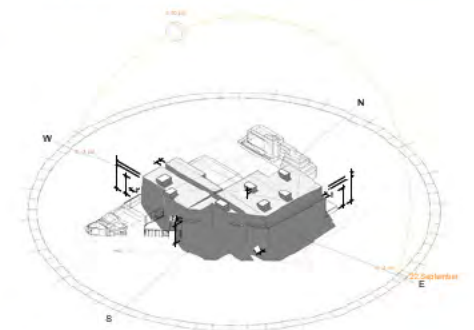


Fig. 1

NOTE:

- The site has been modelled using the survey information as provided by ARCLAB (dated December 2020).
- The shadows have been generated using the sunshading software in Revit 2021. The level is set to L1 at Hurstmere Road, RL 18000. Daylight savings time is noted where applicable.
- The complying scheme has been modelled as per the standards set out in I540. Takapuna 1 Precinct (see Legend for further model considerations).

SUN STUDIES — WINTER SOLSTICE 21 JUNE



LEGEND:

SHADOW OVERLAY COMPARISON

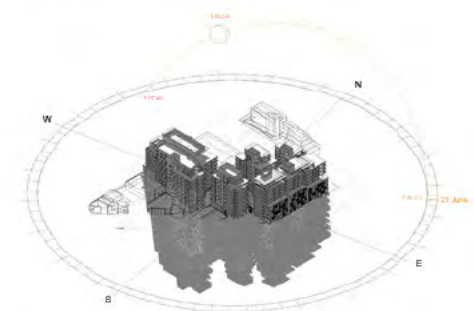
MODEL CONSIDERATIONS:

- 28m HEIGHT AS PER I540.6.5.1
- 5 STOREY FRONTAGE HEIGHT AND 4m FRONTAGE SETBACK AS PER I540.6.1.2
- EXTENT OF SHADOW AT 24.6m HEIGHT AS PER I540.6.1.1 SHOWN BY RED DASHED LINE AS MARKED
- HEIGHT IN RELATION TO BOUNDARY PLANE AT HURSTMERE GREEN ADJACENT BOUNDARY
- EXISTING NORFOLK PINE CANOPY ZONE EXCLUDED FROM BUILDING MASS
- THROUGH-SITE LANE AT 6M WIDTH AS PER I540.6.5.4 LOCATED WITHIN ZONE INDICATED IN I540.10.3 PRECINCT PLAN 3
- INCLUDES ROOF FEATURES SHOWN TO PROJECT 3m ABOVE ROOF AS ALLOWED AS EXCLUSIONS IN AUP J1 DEFINITIONS

SUNRISE & SUNSET TIMES

21 JUNE 2021
 SUNRISE: 7.33AM (NZST)
 SUNSET: 5.11PM (NZST)

Ref: <https://www.timeanddate.com/sun/new-zealand/auckland>



- NOTE:**
- The site has been modelled using the survey information as provided by ARCLAB (dated December 2020).
 - The shadows have been generated using the sunshading software in Revit 2021. The level is set to L1 at Hurstmere Road, RL 18000. Daylight savings time is noted where applicable.
 - The proposed scheme has been modelled as shown in Fig. 1.

Fig. 1

SUN STUDIES — WINTER SOLSTICE 21 JUNE (COMPLYING SCHEME)



LEGEND:

SHADOW OVERLAY COMPARISON

MODEL CONSIDERATIONS:

- 28m HEIGHT AS PER I540.6.5.1
- 5 STOREY FRONTAGE HEIGHT AND 4m FRONTAGE SETBACK AS PER I540.6.1.2
- EXTENT OF SHADOW AT 24.5m HEIGHT AS PER I540.6.1.1 SHOWN BY RED DASHED LINE AS MARKED
- HEIGHT IN RELATION TO BOUNDARY PLANE AT HURSTMERE GREEN ADJACENT BOUNDARY
- EXISTING NORFOLK PINE CANOPY ZONE EXCLUDED FROM BUILDING MASS
- THROUGH-SITE LANE AT 5M WIDTH AS PER I540.6.5.4 LOCATED WITHIN ZONE INDICATED IN I540.10.3 PRECINCT PLAN 3
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Released under the provision of the Official Information Act 1982

SUNRISE & SUNSET TIMES

21 JUNE 2021
SUNRISE: 7.33AM (NZST)
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Ref: <https://www.timeanddate.com/sun/new-zealand/auckland>

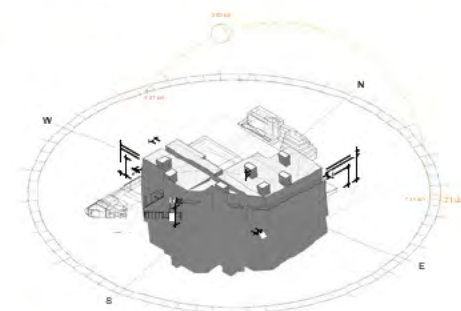


Fig. 1

NOTE:

- The site has been modelled using the survey information as provided by ARCLAB (dated December 2020).
- The shadows have been generated using the sunshading software in Revit 2021. The level is set to L1 at Hurstmere Road, RL 18000. Daylight savings time is noted where applicable.
- The complying scheme has been modelled as per the standards set out in I540. Takapuna 1 Precinct (see Legend for further model considerations).

SUN STUDIES — SUMMER SOLSTICE 21 DECEMBER



LEGEND:

SHADOW OVERLAY COMPARISON

MODEL CONSIDERATIONS:

- 28m HEIGHT AS PER I540.6.5.1
- 5 STOREY FRONTAGE HEIGHT AND 4m FRONTAGE SETBACK AS PER I540.6.1.2
- EXTENT OF SHADOW AT 24.5m HEIGHT AS PER I540.6.1.1 SHOWN BY RED DASHED LINE AS MARKED
- HEIGHT IN RELATION TO BOUNDARY PLANE AT HURSTMERE GREEN ADJACENT BOUNDARY
- EXISTING NORFOLK PINE CANOPY ZONE EXCLUDED FROM BUILDING MASS
- THROUGH-SITE LANE AT 6M WIDTH AS PER I540.6.5.4 LOCATED WITHIN ZONE INDICATED IN I540.10.3 PRECINCT PLAN 3
- INCLUDES ROOF FEATURES SHOWN TO PROJECT 3m ABOVE ROOF AS ALLOWED AS EXCLUSIONS IN AUP J1 DEFINITIONS

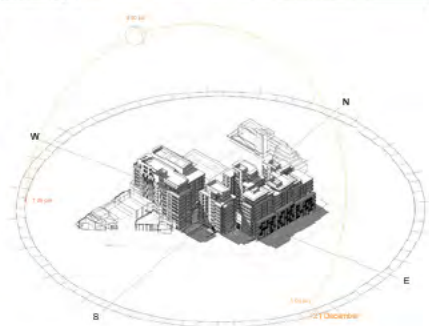
SUNRISE & SUNSET TIMES

21 DECEMBER 2021

SUNRISE: 5.58AM (NZDT)

SUNSET: 8.39PM (NZDT)

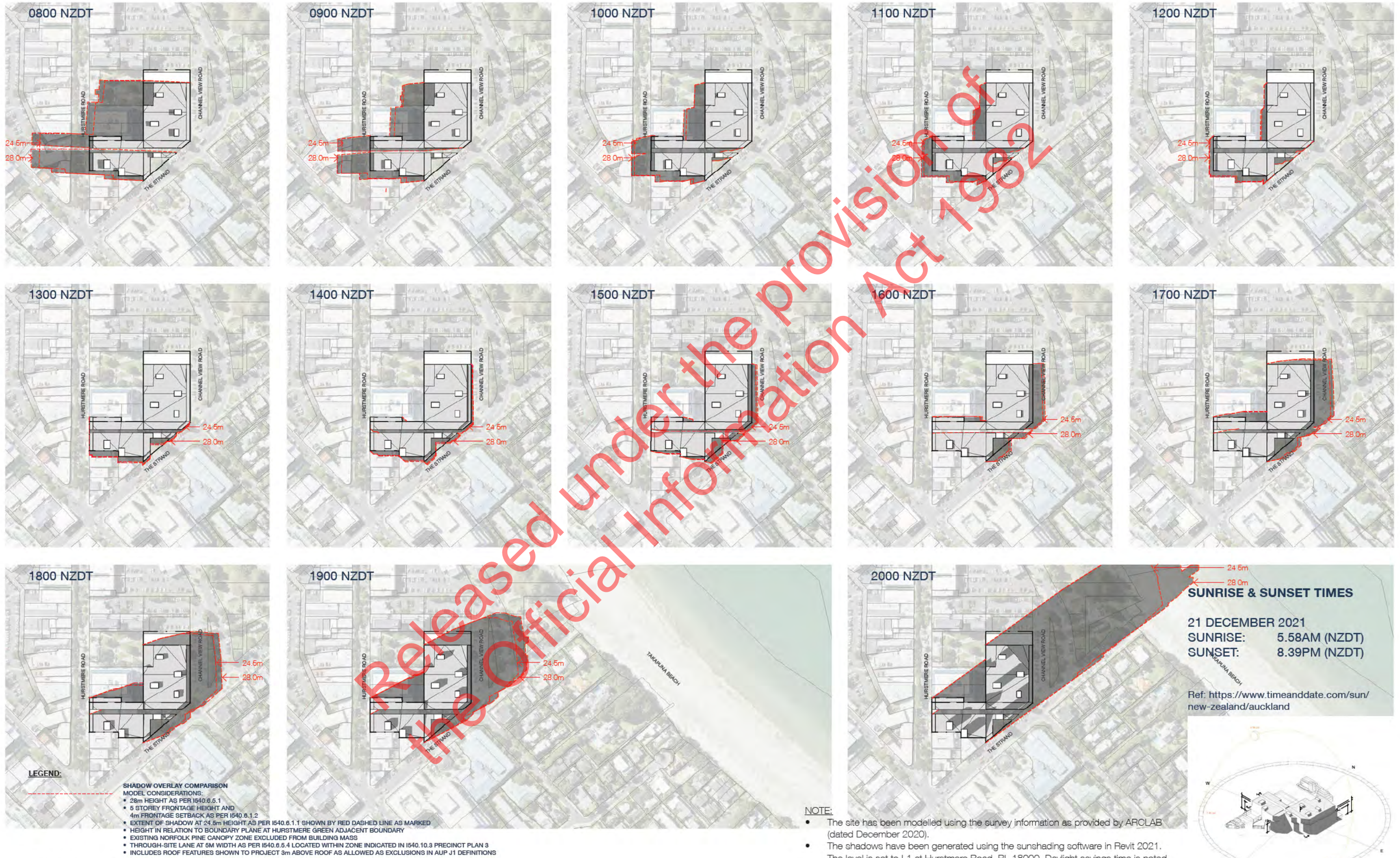
Ref: <https://www.timeanddate.com/sun/new-zealand/auckland>



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 - The proposed scheme has been modelled as shown in Fig. 1.

Fig. 1

SUN STUDIES — SUMMER SOLSTICE 21 DECEMBER (COMPLYING SCHEME)



LEGEND:

SHADOW OVERLAY COMPARISON

MODEL CONSIDERATIONS:

- 28m HEIGHT AS PER I540.6.5.1
- 5 STOREY FRONTAGE HEIGHT AND 4m FRONTAGE SETBACK AS PER I540.6.1.2
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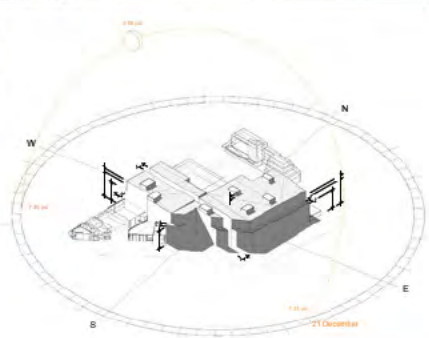
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Fig. 1



MfE FAST TRACK RESPONSE LANDSCAPE CONCEPT PLAN_BOFFA MISKELL

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the Official Information Act 1982

LANDSCAPE CONCEPT PLAN

LEGEND

- 1 KERB BUILD OUT & FOOTPATH REINSTATEMENT TO
- 2 ACCESSIBLE PEDESTRIAN ENTRANCE TO PUBLIC LANEWAY
- 3 STRUCTURAL ROOT ZONE OF EXISTING NORFOLK ISLAND PINE PROTECTED IN GARDEN BED. EXISTING LEVELS AROUND TRUNK MAINTAINED
- 4 LOWER PLAZA / CAR PARK ENTRY SPACE
- 5 THE PRIVATE COURTYARDS & INTERNAL LANE ARE FENCED & GATED ALLOWING FOR ACCESS CONTROL
- 6 PUBLIC LANEWAY CONSISTING OF RAISED TIMBER BLEACHERS, STEEL PLANTERS & STONE PAVING TO ASSIST FOOD & BEVERAGE SPILL OUT SPACES
- 7 WESTERN PUBLIC LANEWAY/ATRIUM CONNECTING TO HURSTMERE ROAD
- 8 PRIVATE COURTYARDS CONSISTING OF RAISED STEEL PLANTERS & TIMBER BATTEN STRUCTURES ABOVE SEATING AREA. COURTYARDS ARE FENCED FROM THE PUBLIC LANEWAY WITH SWIPE ACCESS FOR RESIDENTS. SKYLIGHT ABOVE GYM IN NORTHERN COURTYARD
- 9 CONCRETE STAIRCASE & TIMBER BLEACHERS CONNECT PUBLIC LANEWAY WITH HURSTMERE GREEN THROUGH CONSISTENT MATERIALS
- 10 INTERNAL LANE WITH RAISED STEEL PLANTERS ON THE EASTERN EDGE TO PROVIDE PRIVACY FOR GROUND FLOOR APARTMENTS
- 11 ACCESSIBLE PUBLIC CONNECTION FROM HURSTMERE GREEN TO TAKAPUNA BEACH ALONG THE 'RANGITOTO AXIS'
- 12 NORTHERN SPACE PROVIDES SPILL OUT AREAS FOR GROUND FLOOR FOOD & BEVERAGE OPTIONS. LEVELS ARE MANAGED THROUGH TERRACED STEPS
- 13 CHANNEL VIEW ROAD UPGRADE WIDENS FOOTPATH ALONG BUILDING EDGE, PROVIDES STREET PLANTING & INCLUDES RAISED TABLE CROSSING ALONG 'RANGITOTO AXIS' AND STRAND ENTRY POINT
- 14 RAISED TABLE CROSSING ALONG 'RANGITOTO AXIS' ON THE STRAND
- 15 BIKE RACKS POSITIONED AROUND THE BUILDING & AT ENTRANCE POINTS

