



MFE FCTA Application

75-79, 81-87 & 89-97 Tamaki Drive, 6, 8-10,12 and 14 Patteson Avenue,
and 26,28, and 30 Marau Crescent, Mission Bay

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5 August 2022

Introduction/ 01

The architectural expression is a reflection of the spirit and the natural beauty of Mission Bay



A relaxed waterside community that draws on the memory of delightful coastal towns and precincts around New Zealand and beyond. The buildings are not there to compete with this wonderful environment, but are simply an extension of mood and the fabric of Mission Bay.

A collection of buildings and public rooms that resonate and celebrate the charm and individuality of Mission Bay -demonstrating a rich understanding of the composition of this society and the families within, and also recognising it as an iconic destination.

A language of humility, a place for all people to recognise as the heart of Mission Bay while unifying the fabric of this society.

The lifestyle- inspired by the waterside, the whimsical development is a new typology of build for the area that can accommodate established and growing culture, events, and everyday activities.



Context / 02

City Context

Located just 20min from Auckland CBD, the proposed site sits on the scenic Tamaki Drive, which links the suburbs Orakei, Mission Bay, Kohimarama and Saint Helier.

The site sits within a sequence of events which navigate the contours of the Waitema Harbour.

Travelling via Tamaki Drive to Mission Bay takes the user from the dense urban context of the Auckland CBD and takes them on a journey through Mechanics Bay and Hobson Point.

From here, several community and historical monuments serve as a rest point along the drive, finally arriving at the thriving seaside community of Mission Bay.



A/Auckland CBD B/Mission Bay 1/Mechanics Bay 2/Hobson Point 3/Okahu Bay 4/Tamaki Yacht Club

City Context



1
Auckland CBD



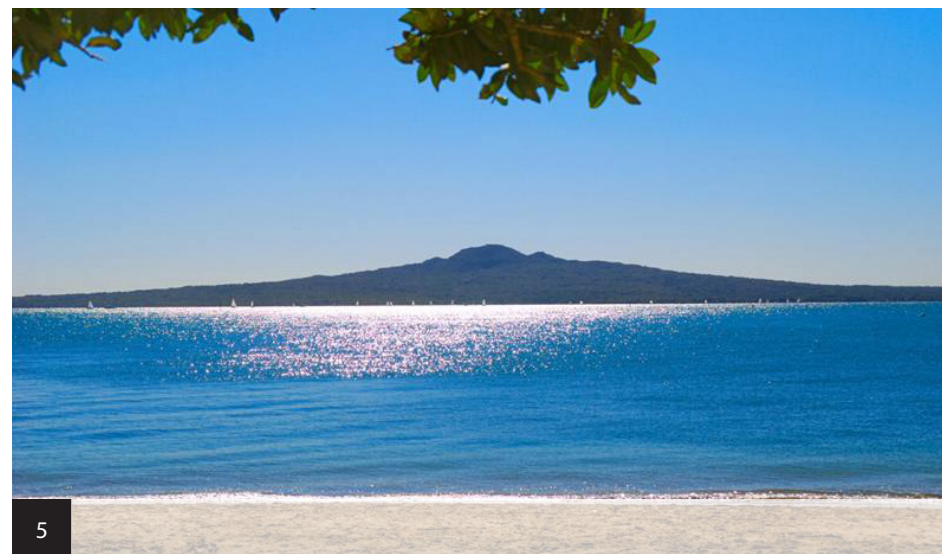
2
Judges Bay/ Mechanics Bay near St Stephen's Chapel



3
Okahu Bay with Rangitoto Island in the distance



4
Okahu Bay Wharf



5
Mission Bay Beach with Rangitoto Island in the distance



6
Mission Bay Beach and Tamaki Drive

Tamaki Drive Context

Within the immediate surrounds of the proposed site sit several landmark experiences for those travelling to the area. Bastion Point in the north, through to Kohimarama Beach to the south east.

The mission buildings at Selwyn reserve serve as a key reminder of the historic use of Mission Bay as an educational institution for Melanesian Boys with a Christian Education.

The Trevor Moss Davis Memorial Fountain serves as the centre piece of the Mission Bay Precinct, providing an identifiable landmark which is synonymous with the area.



A/Auckland CBD direction 1/Michael Joseph Savage Memorial Park 2/Selwyn Reserve 3/Trevor Moss Davis Memorial Fountain 4/Tokohimarama Beach direction

Tamaki Drive Context



1 Michael Savage Memorial with Auckland CBD beyond



2 Selwyn Reserve



3 Trevor Moss Davis Memorial Fountain



4 Mission Bay Park and Foreshore



5 Existing Mission Bay Development



6 Mission Bay Cafe along Tamaki Drive

Site Context and Opportunities

Mission Bay has several existing landmarks which offer a unique experience for the visitors to the site

We aim to link these events into an overall experience for the visitor. The pohutukawa trees which line Tamaki Drive provide a unique opportunity to link the existing Mission Bay water, sports club, the Trevor Moss Davis Memorial Fountain and the proposed project site.

This provides for major opportunities for public art installations, historical monuments as well as lighting projection into the trees.

The public park on the foreshore allows the exploration of the realm of public space and how the threshold between the proposed building and these public spaces may be blurred to create dynamic, multi-faceted and memorable spaces.

The pinnacle of this experience will be the arrival to the site, which embellishes the unique physical attributes of the site to form an architectural resolution which is clearly identifiable as Mission Bay.



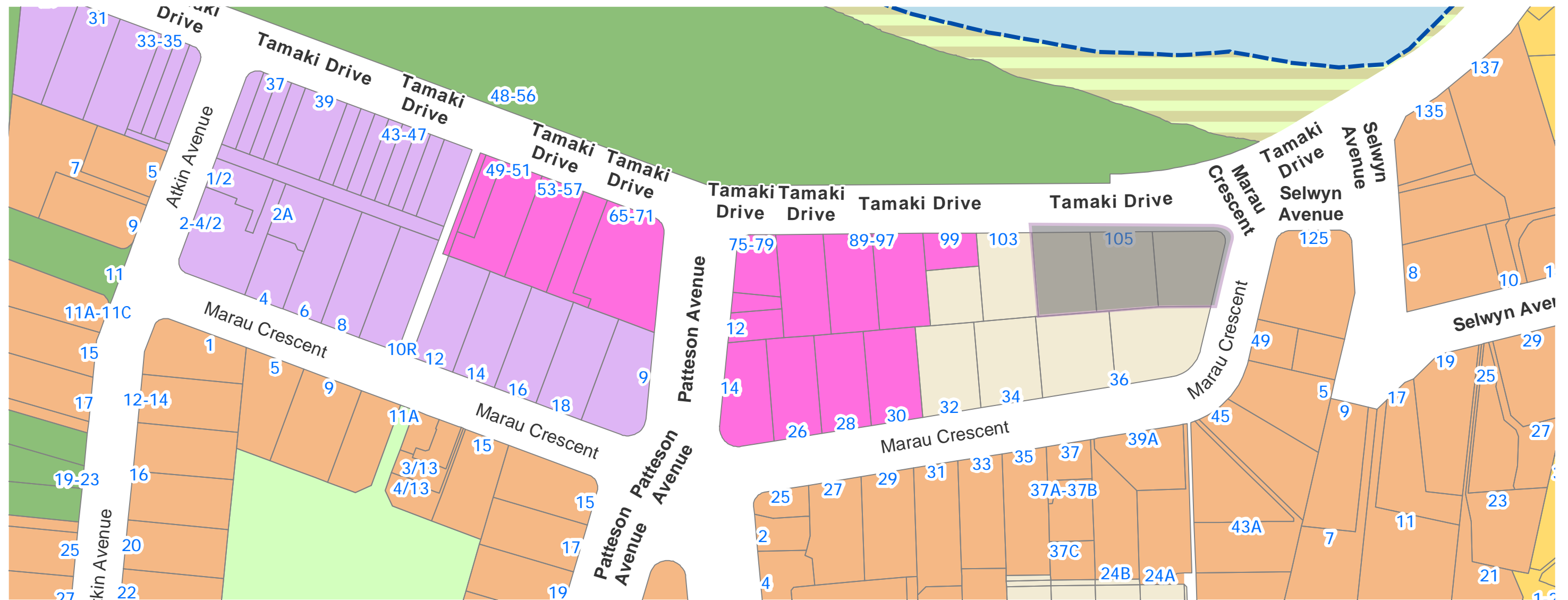
Language

Mission Bay is a relaxed, playful coastal destination. The beach precinct is a collection of standard buildings, but its address as a destination is very much created by the fountain and the 'deco' expression of the Patteson - Tamiki corner. These elements, along with the park, trees and water define the heart of Mission Bay.

The coastline is a somewhat mixture of architectural language with significant medium rise apartment scale found on tamaki drive. The building expressions generally embrace this spirit with relatively simple geometry with playful elements and moments introduced. A large proportion of these buildings are a light / white shell.



Regulatory Controls / Zoning



 Business - Local Centre Zone	 Business - Mixed Use Zone
 Residential - Single House Zone	 Residential - Mixed Housing Urban Zone
 Open Space - Informal Recreation Zone	 Historical Overlay

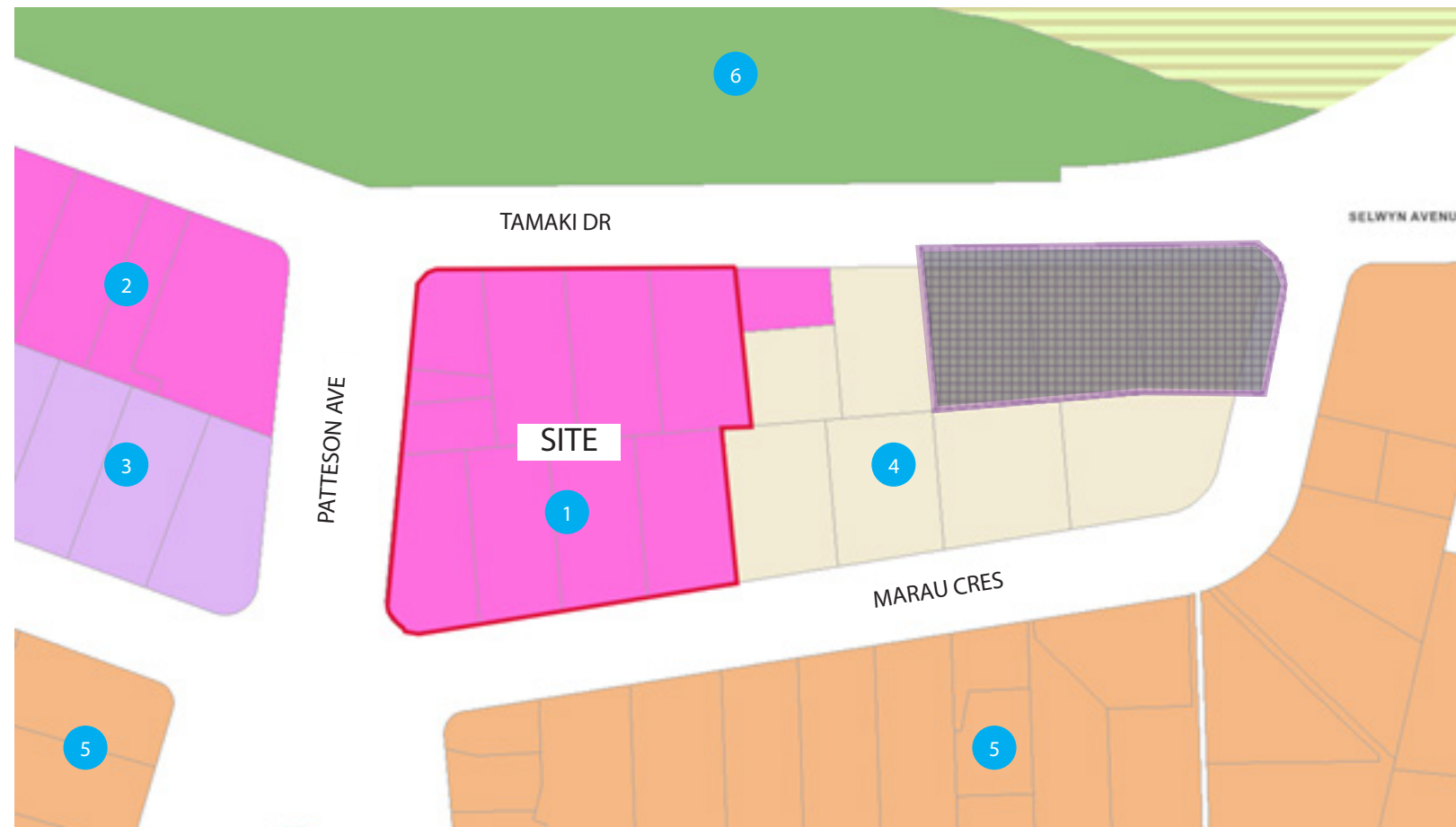
Carparking:

- Food and Beverage (excluding Taverns) 1 per 30m² GFA and outdoor seating areas - no maximum
- Retail - 1 per 30m² GFA - no maximum
- Residential - no min / no max
- Entertainment facilities - no min/ no max

Loading Bay:

- Retail greater than 300m² up to 5000m² 1 loading space 8m x 3.5m x 3.8m high minimum

Regulatory Controls / height limits

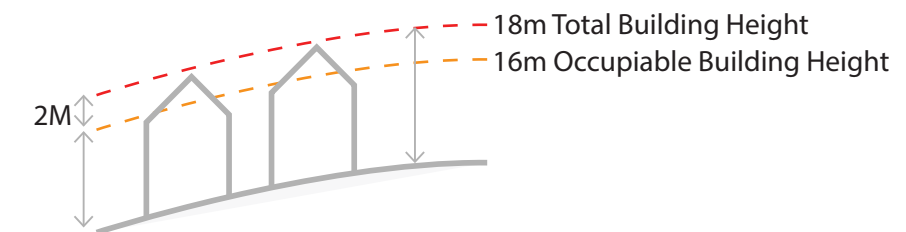


Legend

1. 18m total building height
16m occupiable building height
2. 16m + 2m roof
3. 16m + 2m roof
4. HIRB 2.5m @ 45deg
5. HIRB 3m @ 45deg
6. HIRB 8.5m @ 45deg

 Business - Local Centre Zone	 Business - Mixed Use Zone
 Residential - Single House Zone	 Residential - Mixed Housing Urban Zone
 Open Space - Informal Recreation Zone	 Historical Overlay

Building Set Back - 3m
Max Fence Height - 2m

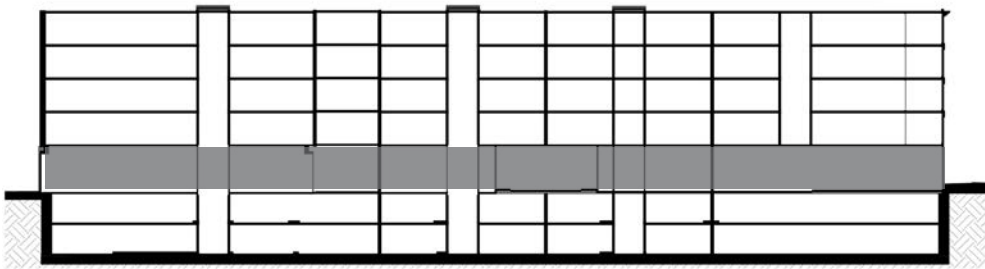


Site Plan
NTS

MFE FCTA Proposal

Level 1 Floor Plan / 1:500@A3

KEY SECTION



- STANDARD KEY
- PARKING/LOADING/VEHICLE ACCESS - 45 RETAIL CARPARKS
 - RETAIL 2404m²
 - RESIDENTIAL
 - CIRCULATION
 - DECK / MIXED LANDSCAPE AREA
 - STORAGE
 - PLANT SERVICES
 - LANDSCAPED ROOF GARDEN
 - GROUND LEVEL LANDSCAPING

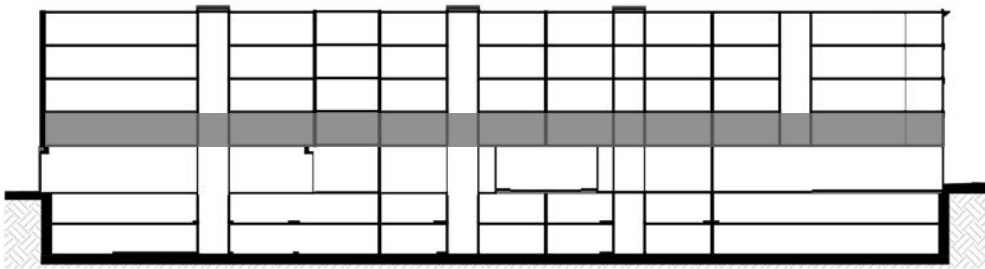
Level 1 Level
Scale 1:500@A3



MFE FCTA Proposal

Level 2 Floor Plan / 1:500@A3

KEY SECTION



STANDARD KEY

- PARKING/LOADING/VEHICLE ACCESS
- RETAIL
- RESIDENTIAL
- CIRCULATION
- DECK / MIXED LANDSCAPE AREA
- STORAGE
- PLANT SERVICES
- LANDSCAPED ROOF GARDEN
- GROUND LEVEL LANDSCAPING



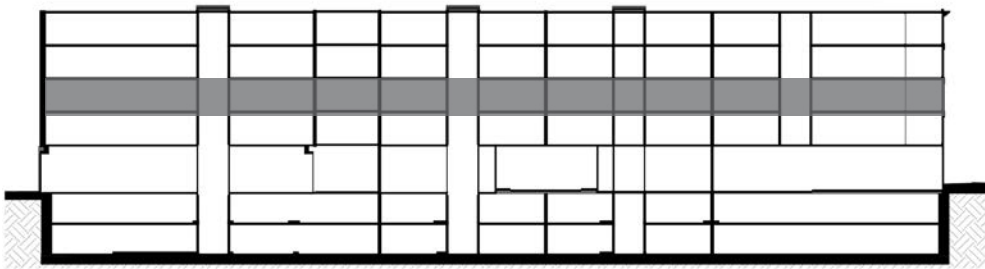
Level 2
Scale 1:500@A3



MFE FCTA Proposal

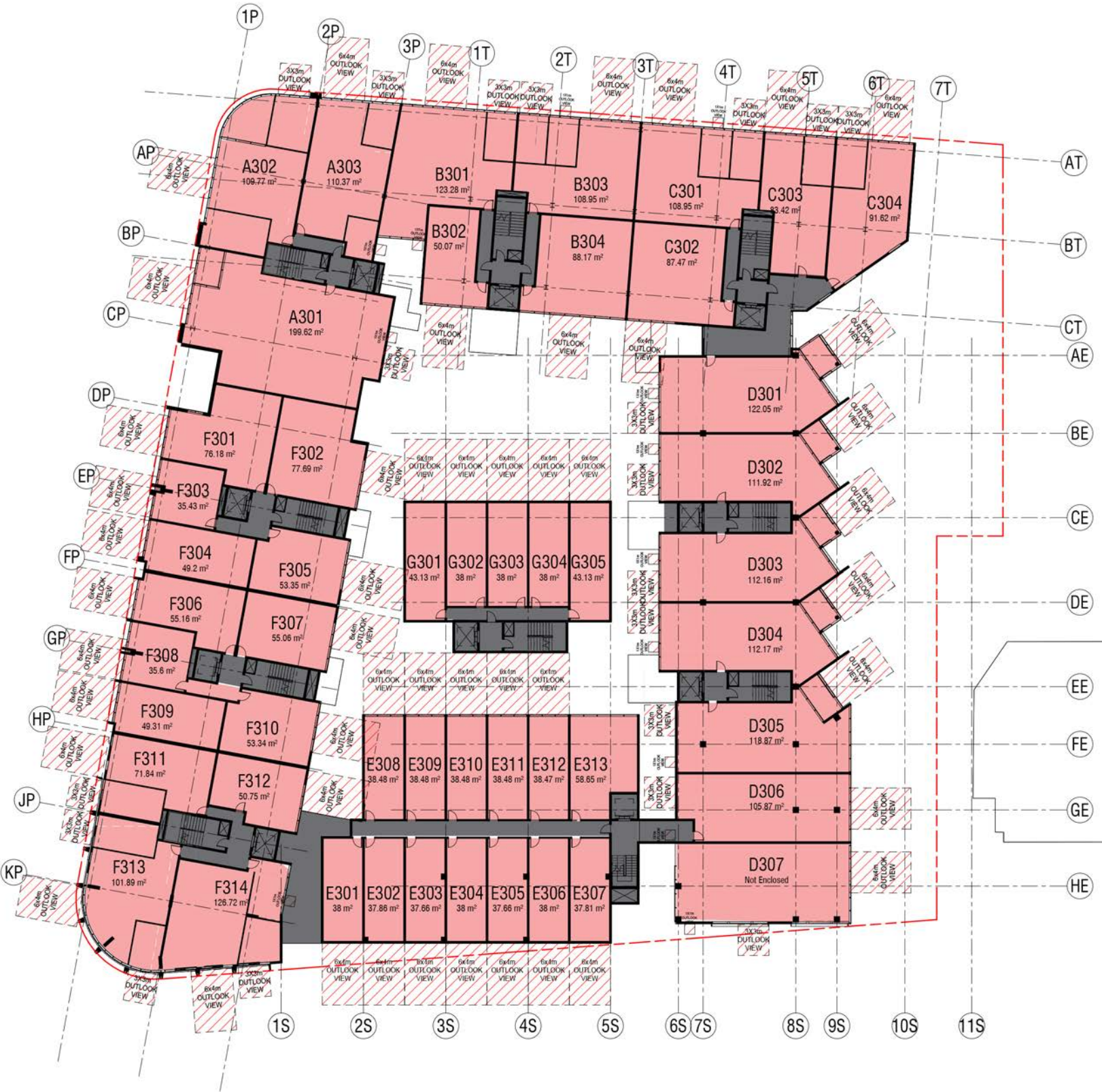
Level 3 Floor Plan / 1:500@A3

KEY SECTION



STANDARD KEY

- PARKING/LOADING/VEHICLE ACCESS
- RETAIL
- RESIDENTIAL
- CIRCULATION
- DECK / MIXED LANDSCAPE AREA
- STORAGE
- PLANT SERVICES
- LANDSCAPED ROOF GARDEN
- GROUND LEVEL LANDSCAPING

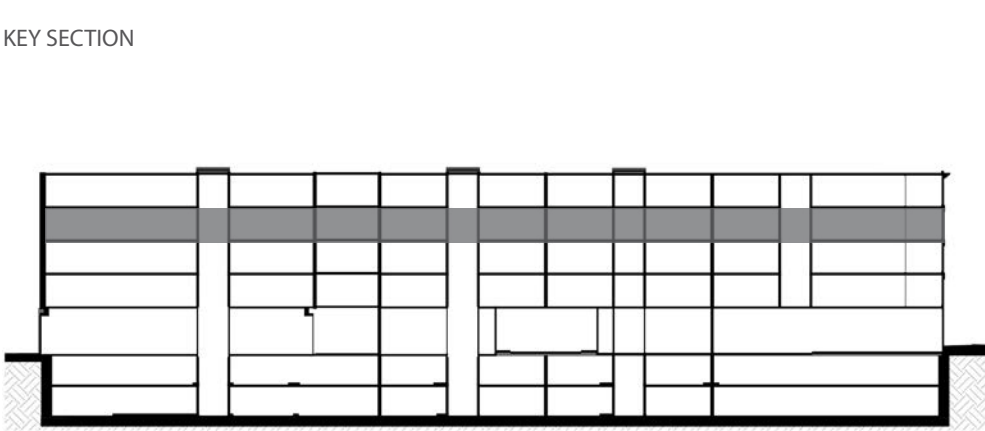


Level 3
Scale 1:500@A3

MFE FCTA Proposal

Level 4 Floor Plan / 1:500@A3

KEY SECTION



STANDARD KEY

PARKING/LOADING/VEHICLE ACCESS

RETAIL

RESIDENTIAL

CIRCULATION

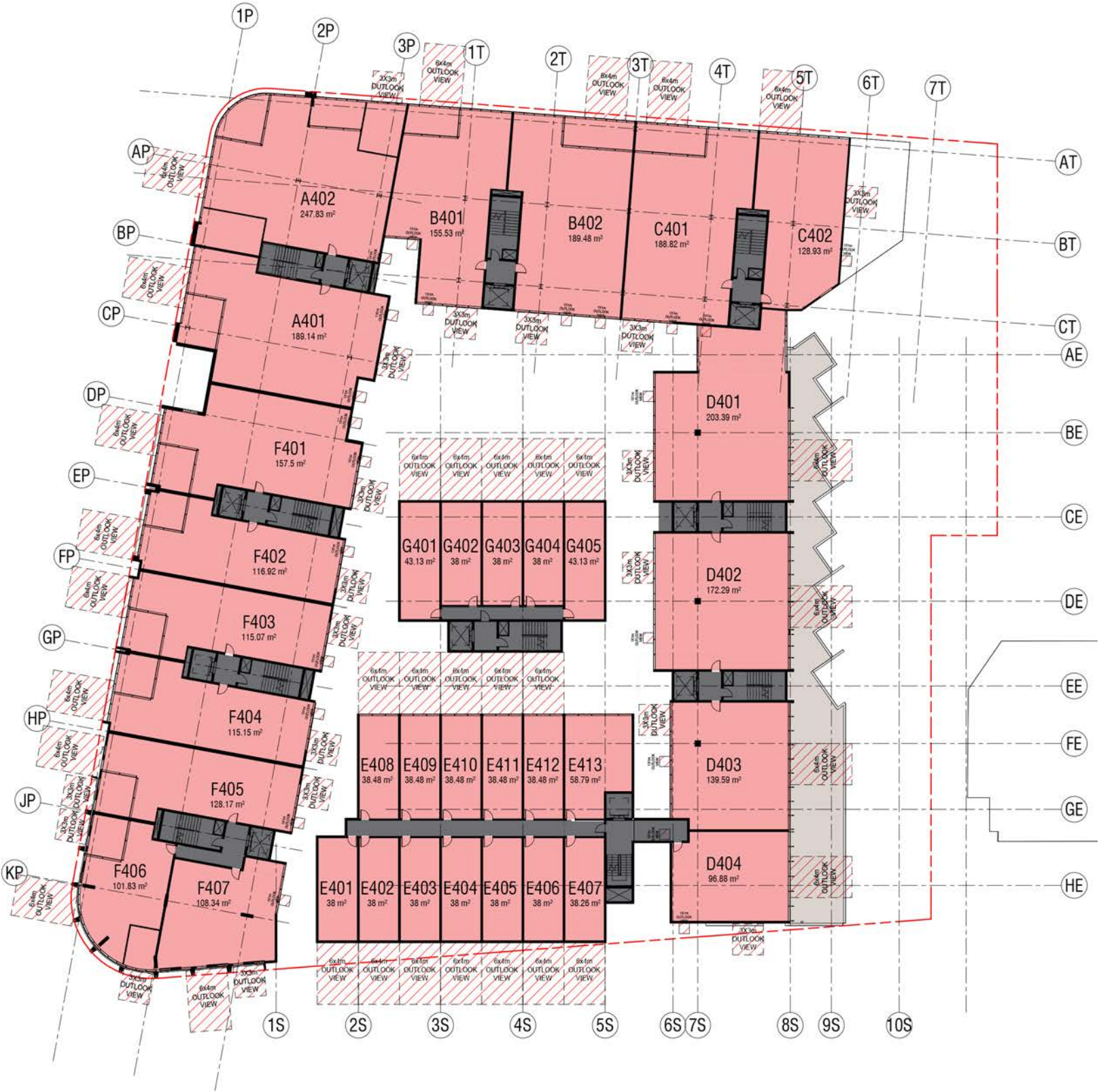
DECK / MIXED LANDSCAPE AREA

STORAGE

PLANT SERVICES

LANDSCAPED ROOF GARDEN

GROUND LEVEL LANDSCAPING



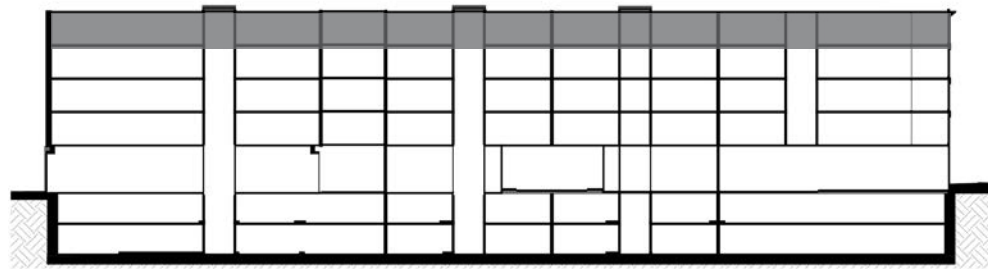
Level 4
Scale 1:500@A3



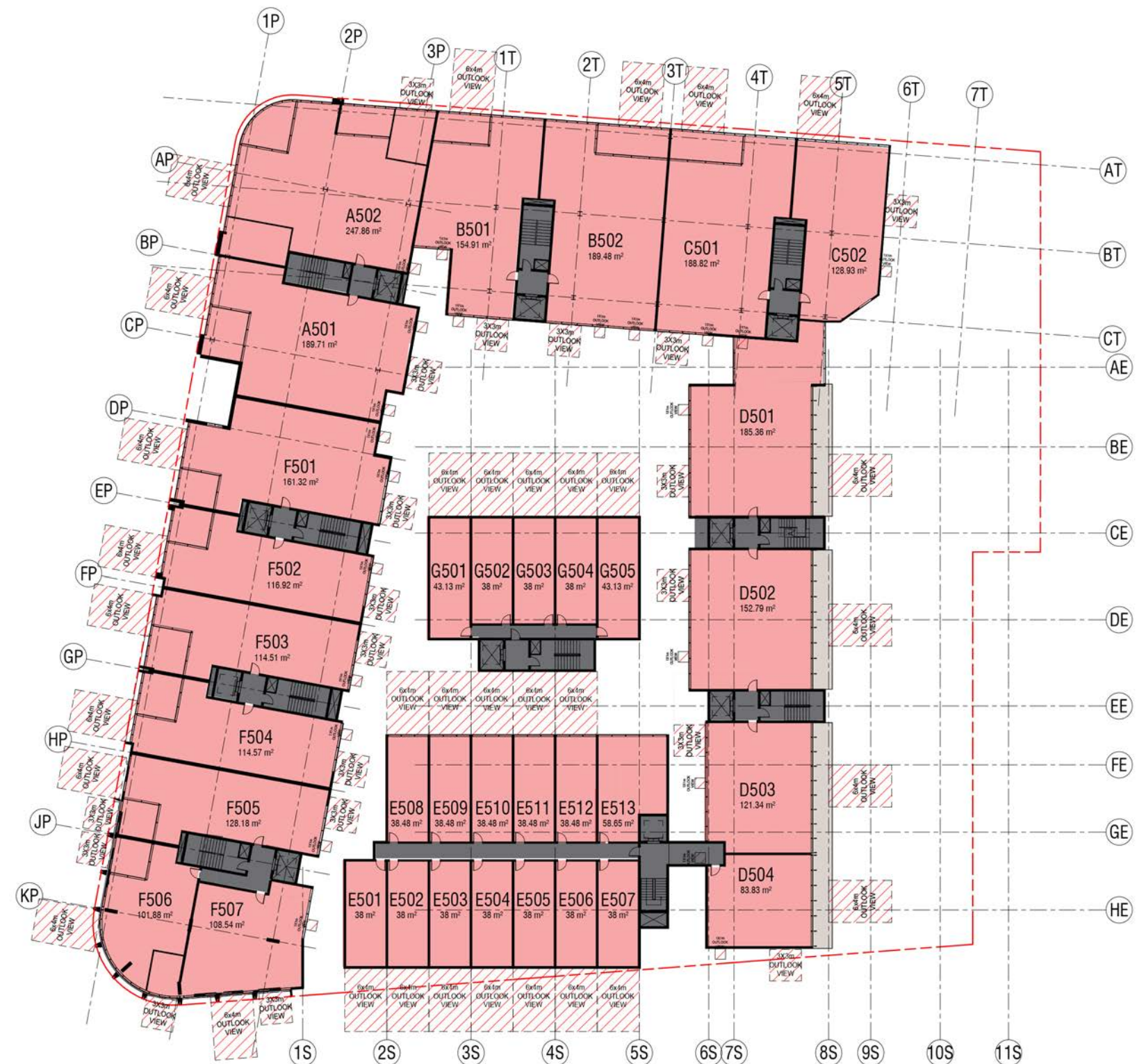
MFE FCTA Proposal

Level 5 Floor Plan / 1:500@A3

KEY SECTION

**STANDARD KEY**

	PARKING/LOADING/VEHICLE ACCESS
	RETAIL
	RESIDENTIAL
	CIRCULATION
	DECK / MIXED LANDSCAPE AREA
	STORAGE
	PLANT SERVICES
	LANDSCAPED ROOF GARDEN
	GROUND LEVEL LANDSCAPING



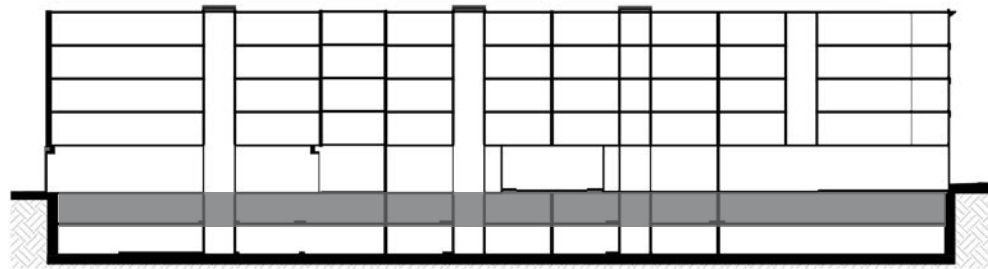
Level 5
Scale 1:500@A3

BUCHAN

MFE FCTA Proposal

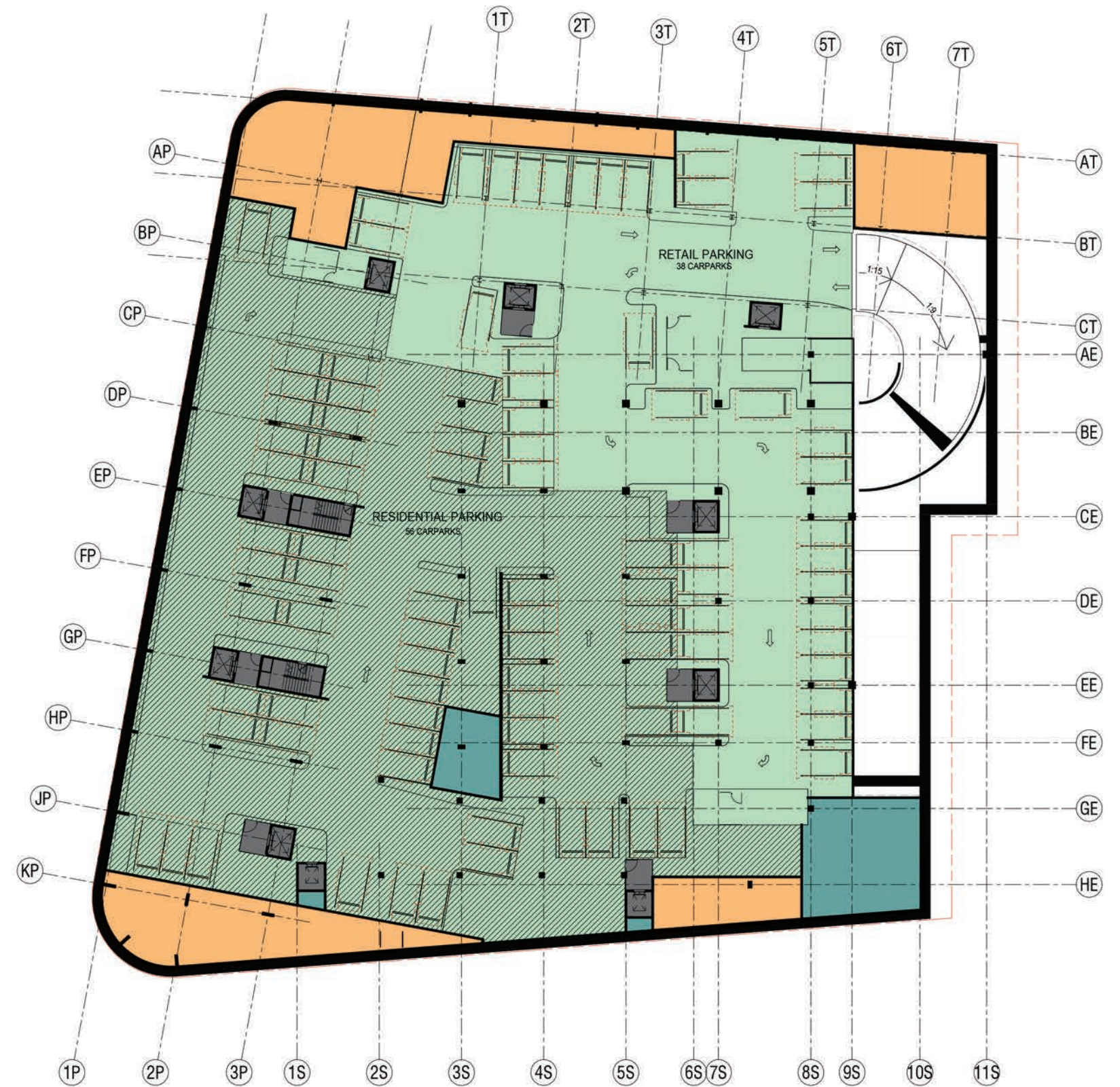
Basement 1 / 1:500@A3

KEY SECTION



STANDARD KEY

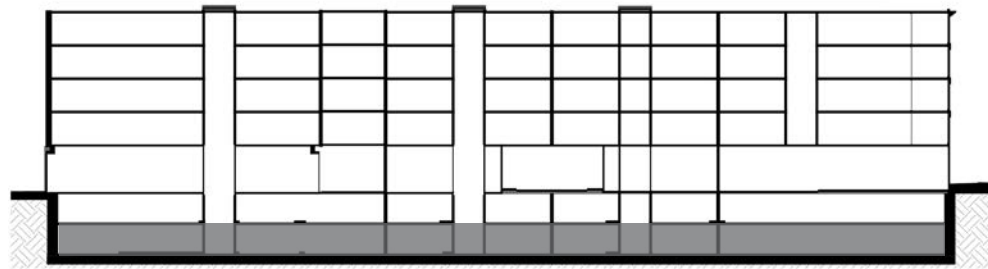
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	RETAIL
	RESIDENTIAL
	CIRCULATION
	DECK / MIXED LANDSCAPE AREA
	STORAGE
	PLANT SERVICES
	LANDSCAPED ROOF GARDEN
	GROUND LEVEL LANDSCAPING



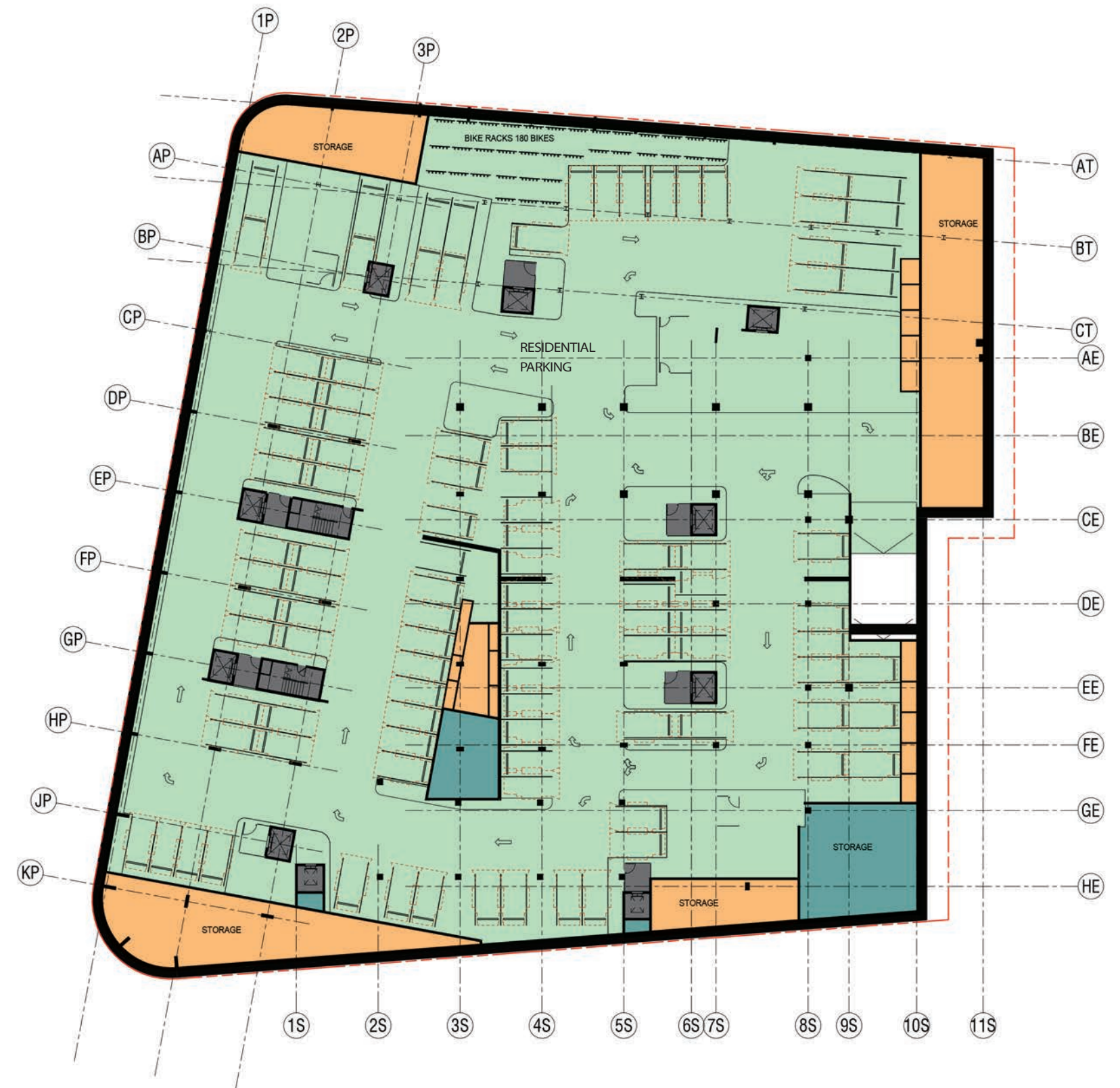
MFE FCTA Proposal

Basement 2 / 1:500@A3

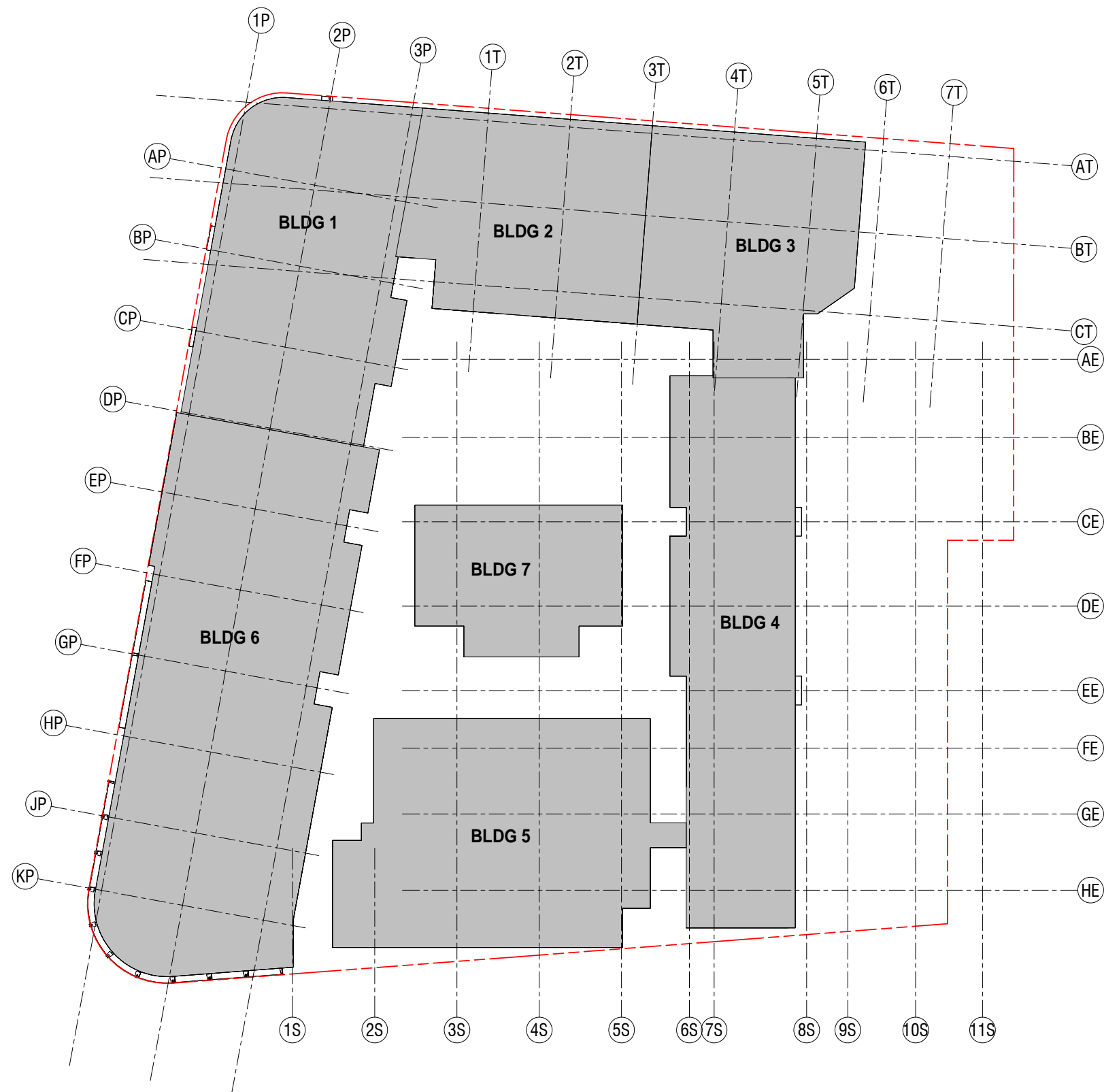
KEY SECTION

**STANDARD KEY**

	PARKING/LOADING/VEHICLE ACCESS - 129 RESIDENTIAL CARPARKS
	RETAIL
	RESIDENTIAL
	CIRCULATION
	DECK / MIXED LANDSCAPE AREA
	STORAGE
	PLANT SERVICES
	LANDSCAPED ROOF GARDEN
	GROUND LEVEL LANDSCAPING



MFE FCTA Proposal

Roof / 1:500@A3

Potential External Elevation Treatments / 04

MFE FCTA Proposal

Potential North Elevation / 1:250@A3

Rendered



- LEGEND
- 1 Coloured Concrete
 - 2 Glass
 - 3 Aluminium Blades
 - 4 Aluminium Window Frame
 - 5 Brick
 - 6 Cement Render
 - 7 Shutters

North Elevation
Scale 1:250@A3

MFE FCTA Proposal

Potential East Elevation / 1:250@A3

Rendered



- LEGEND
- 1 Coloured Concrete
 - 2 Glass
 - 3 Aluminium Blades
 - 4 Aluminium Window Frame
 - 5 Brick
 - 6 Cement Render
 - 7 Shutters

East Elevation
Scale 1:250@A3

MFE FCTA Proposal

Potential South Elevation / 1:250@A3

Rendered



- LEGEND
- 1 Coloured Concrete
 - 2 Glass
 - 3 Aluminium Blades
 - 4 Aluminium Window Frame
 - 5 Brick
 - 6 Cement Render
 - 7 Shutters

South Elevation
Scale 1:250@A3

MFE FCTA Proposal

Potential West Elevation / 1:250@A3

Rendered

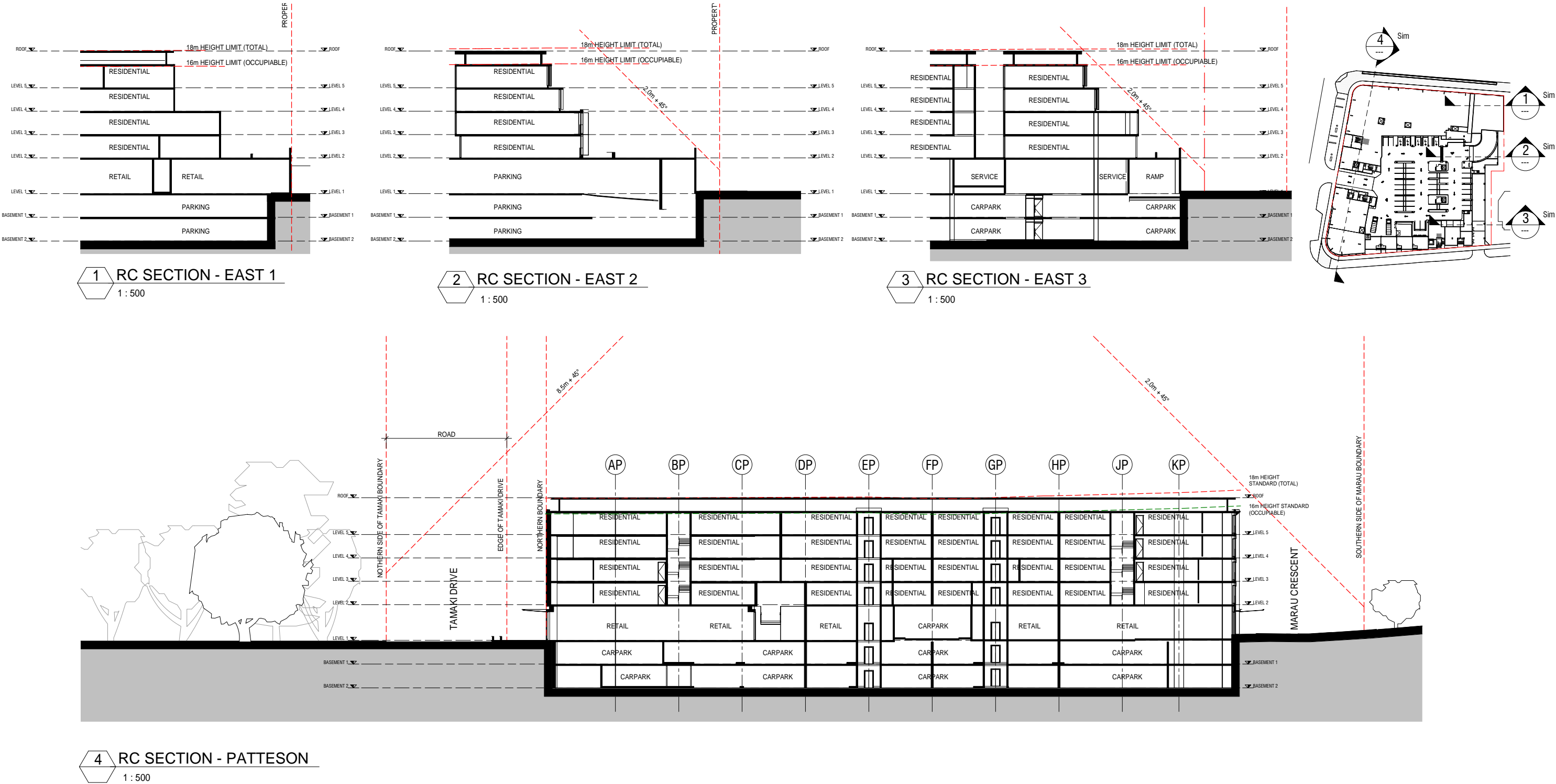


- LEGEND
- 1 Coloured Concrete
 - 2 Glass
 - 3 Aluminium Blades
 - 4 Aluminium Window Frame
 - 5 Brick
 - 6 Cement Render
 - 7 Shutters

West Elevation
Scale 1:250@A3

MFE FCTA Proposal

Potential Sections



Render of Potential Built Form and Exterior
Treatment / 05

ORIGINAL RC SUBMISSION RENDER



PROPOSED MISSION BAY DEVELOPMENT

ENVIRONMENT COURT SUBMISSION 2020



PROPOSED MISSION BAY DEVELOPMENT

Optimum viewing distance of this image is 225mm when printed at scale 1:1 (100%) on SRA3 paper then trimmed to A3 size





PROPOSED MISSION BAY DEVELOPMENT

